

**Development Application
UPDATED PLAN SET**

**24 - 34 Bayside Way
Brunswick Heads
20 Lot Integrated Housing Development**

DWELLING BASIN NOTES.
RAINWATERTANK TO BE INSTALLED IN ACCORDANCE WITH AS3500.1.
RAINWATER TANK TO COLLECT RUNOFF FROM A MINIMUM OF 100 SQ. METRES OF ROOF AREA.
RAINWATER TANK TO BE CONNECTED TO
- COLD WATER TAP FOR THE CLOTHES WASHER.
- ALL TOILETS IN THE DEVELOPMENT
- AT LEAST ONE OUTDOOR TAP. (LANDSCAPING).



DWELLING NO.	BUILDING FOOTPRINT	TOTAL ROOF AREA	DRIVEWAY/PATH AREA	INTERNAL ROAD/CARPARKING	PATHS	ELECTRICAL SUBSTATION
DWELLING 1	182.5m ²	236m ²	7.6m ²	1185.4m ²	48.0m ²	4.5m ²
DWELLING 2	155.6m ²	205m ²	6.1m ²			
DWELLING 3	122.3m ²	157m ²	6.1m ²			
DWELLING 4	143.5m ²	190m ²	11.9m ²			
DWELLING 5	143.5m ²	192m ²	11.9m ²			
DWELLING 6	143.5m ²	197m ²	11.9m ²			
DWELLING 7	143.5m ²	190m ²	11.9m ²			
DWELLING 8	143.5m ²	197m ²	11.9m ²			
DWELLING 9	139.1m ²	186m ²	11.9m ²			
DWELLING 10	123.8m ²	158m ²	12.7m ²			
DWELLING 11	126.7m ²	166m ²	13.2m ²			
DWELLING 12	111.3m ²	142m ²	13.1m ²			
DWELLING 13	131.6m ²	174m ²	13.9m ²			
DWELLING 14	96.0m ²	129m ²	17.8m ²			
DWELLING 15	141.9m ²	184m ²	14.5m ²			
DWELLING 16	114.8m ²	159m ²	18.8m ²			
DWELLING 17	110.6m ²	152m ²	18.8m ²			
DWELLING 18	145.0m ²	187m ²	17.7m ²			
DWELLING 19	115.7m ²	161m ²	17.8m ²			
DWELLING 20	117.0m ²	161m ²	17.1m ²			
COMBINED AREA	2652.3m ²	3522m ²	270.6m ²	1185.4m ²	48.0m ²	4.5m ²

[illegible]

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**
AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**
FOR. **Mr J. & Mrs G. Mills.**

Design & Documentation by Douglas Cope. QBSA Licence No. 103775
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

DATE. APR, 21	DRAWING TITLE. SITE DEVELOPMENT PLAN.
DRAWN. D.C.	PROJECT No. B1161 DWG No. DA1
SCALE. 1 : 200	

49 Kingsley Lane
Byron Bay NSW 2481

ppdc

Mobile 0401 000126
Email doug@ppdc.com.au

prestigepropertiesdesign & construction

Development Consultants/Architectural Designers
RA1A 25222. QBSA Licence No. 1037753

Diagram illustrating the cross-section of a road with a 9m wide road and 4m shoulders. The total length is 49m + 9m = 58m. The diagram includes dimensions for the road width (D=40m), travel lane width (T=16.5m), and shoulder width (S=9m Min). It also shows the total length (49m + 9m = 58m) and the use of a 58m length. The diagram is labeled "Provide 49.64m" and "Total Length = 49m + 9m Use Say = 58m".

- This diagram does not show any specific bicycle facilities. Where required bicycle facilities should be provided in accordance with this Part.
- A raised concrete median in the minor road may be used with this treatment.
- The dimensions of the treatment are defined thus:

W_T = Nominal width of turn lane (m), including widening for curves based on the design turning vehicle.
Desirable minimum = W , absolute minimum = 3.0 m.

B = Total length of auxiliary lane including taper, diverge/deceleration and storage (m).

D = Diverge/deceleration length including taper – Table 5.2 (adjust for grade using the 'correction to grade' factor in Table 5.3).

$$T = \text{Physical taper length (m) given by Equation 5 being: } T = \frac{0.33VW_T}{3.6} = \frac{0.33 \times 60 \times 3}{3.6} = 16.5\text{m}$$

S = Storage length (m) is the greater of:

1. length of one design turning vehicle
2. (calculated car spaces - 1) \times 8 m or use computer program (e.g. aaSIDRA).

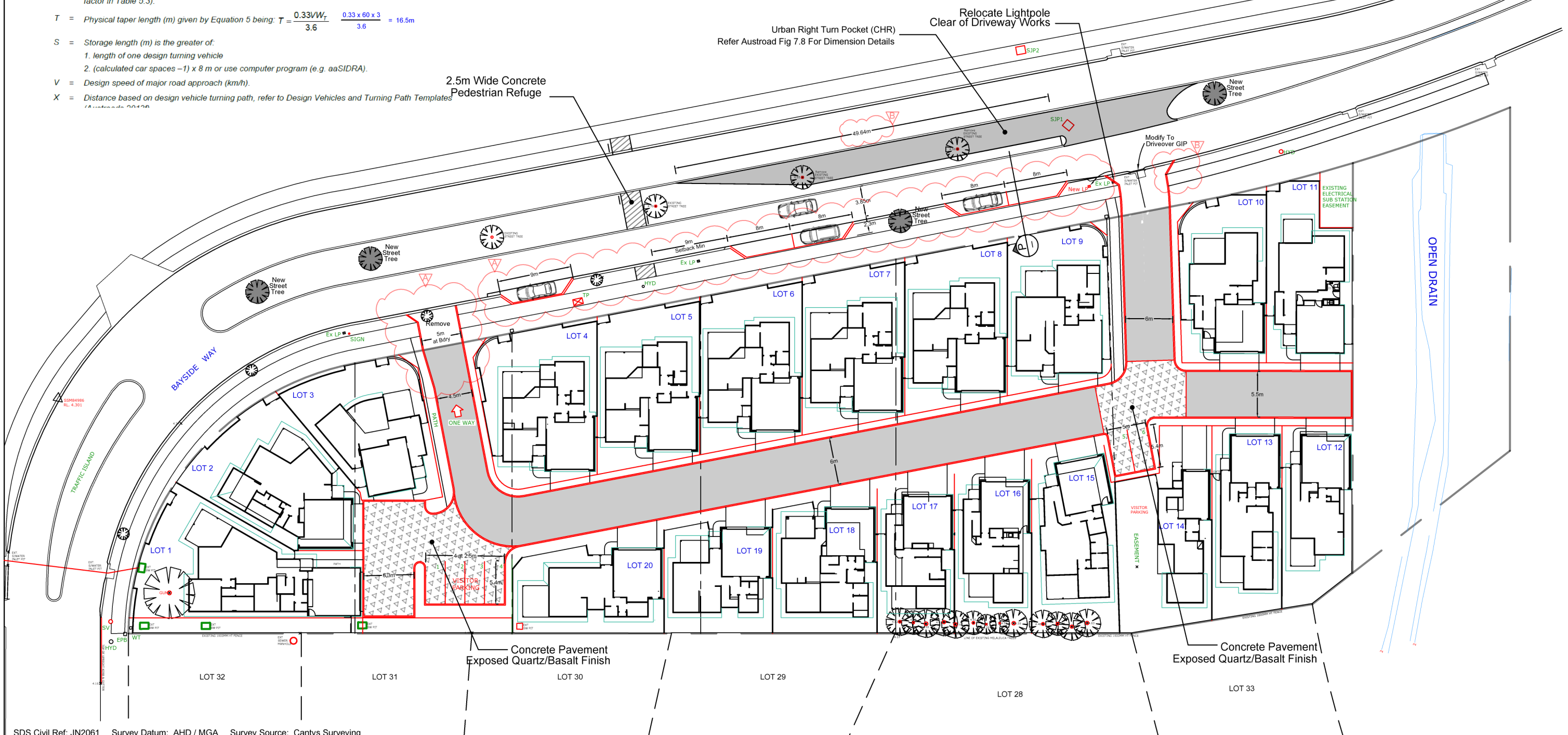
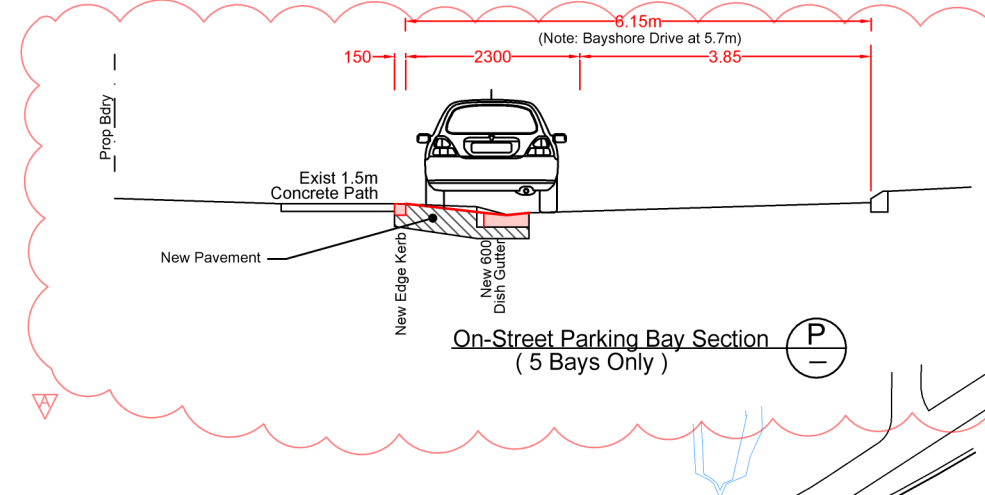
V = Design speed of major road approach (km/h).

X = Distance based on design vehicle turning path, refer to Design Vehicles and Turning Path Templates (AASHTO 2012b)

	Flexible Pavement (300mm Roadbase + 40mm AC)
	Concrete Footpath 125mm 30Mpa N82
	Concrete Pavement (150mm 30Mpa + 100mm DGB20)

 New On-street Parking Bays (300mm Roadbase + 40mm AC)
Minimum Overall Length 8m

Existing Street Light Pole



SDS Civil Ref: JN2061 Survey Datum: AHD / MGA Survey Source: Cantys Surveying

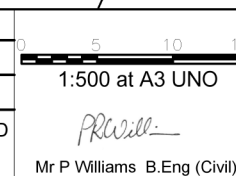
A.B.N. 56 656 467 255

m 0438 725 414 e peterw@sdscivil.com.au

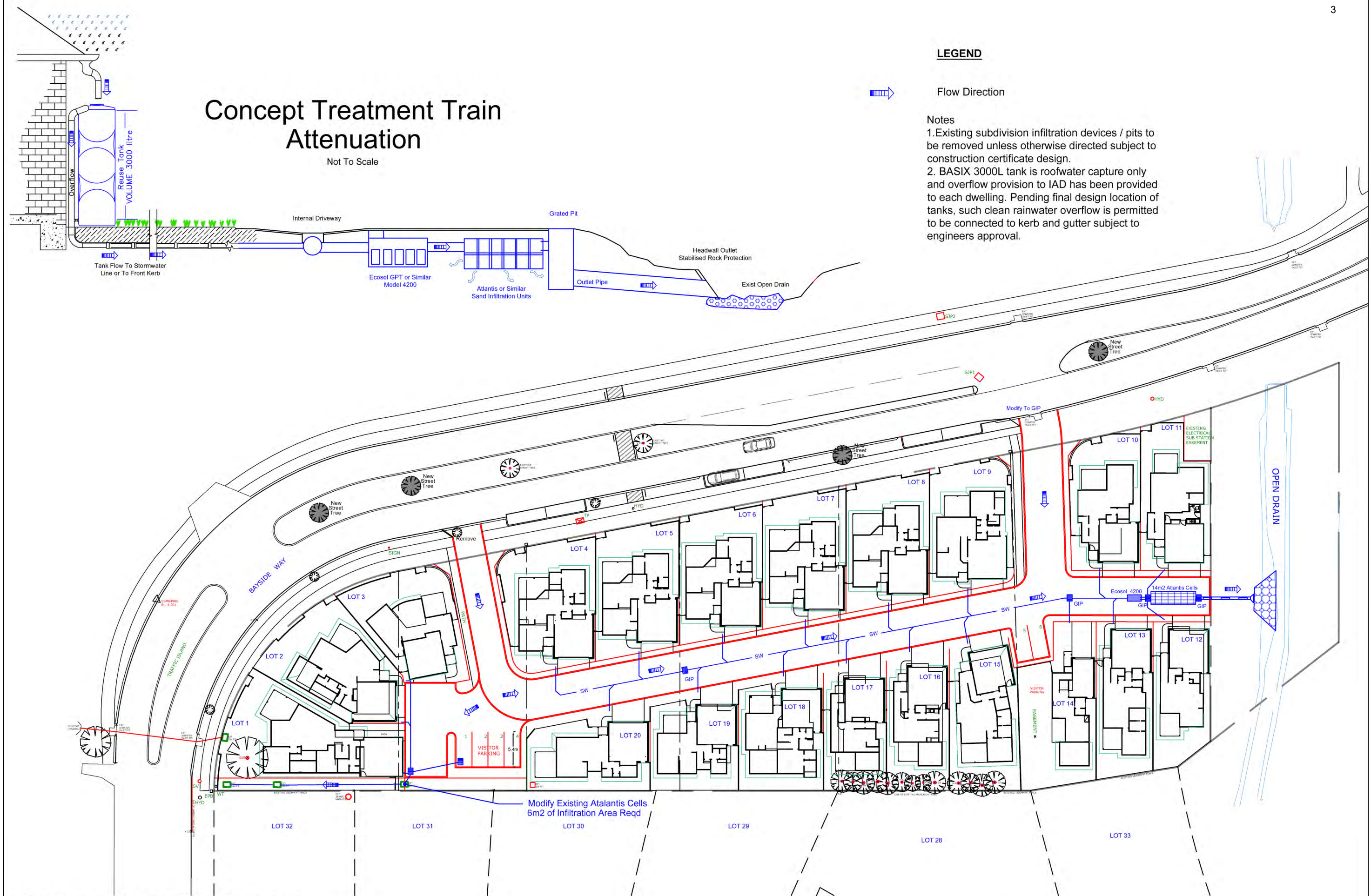
1. Verify and locate all dimensions and levels PRIOR to performing any works.
2. Ensure DBYD enquiries are made to locate current service information.
3. Pothole or service locator of any underground services before performing works.
4. Drawing may not be modified or used by others without approval of SDS Civil Enterprises.

© Copyright SDS Civil Enterprises

Rev	Date	Amendment	
A	June 2022	Onstreet Parking 8m, Widen Nth Dway	
B	July 2022	Turn bay length increased, dway splay added	
C			APPROVED
D			



PROJECT	20 Dwelling Development	ADDRESS	35 Bayside Way Brunswick Heads	DATE	June 2022
CLIENT	J & G Mills	LAND	Lot 1 - 6 DP1261870	DRAWING PURPOSE	Development Application
DRAWING DETAILS	Roadworks Pavement Plan			DRAWING NUMBER	2061 - C1



SDS Civil Ref: JN2061 Survey Datum: AHD / MGA Survey Source: Cantys Surveying

SDS Civil Enterprises
A.B.N. 56 656 467 255
461 Hinterland Way, Knockrow NSW
m 0438 725 414 e peterw@sdscivil.com.au

IMPORTANT NOTES
1. Verify and locate all dimensions and levels PRIOR to performing any works.
2. Ensure DBYD enquiries are made to locate current service information.
3. Pothole or service locator of any underground services before performing works.
4. Drawing may not be modified or used by others without approval of SDS Civil Enterprises.
© Copyright SDS Civil Enterprises

Rev	Date	Amendment
A		
B		
C		
D		

APPROVED

SCALE
1:500 at A3 UNO
Mr P Williams B.Eng (Civil)

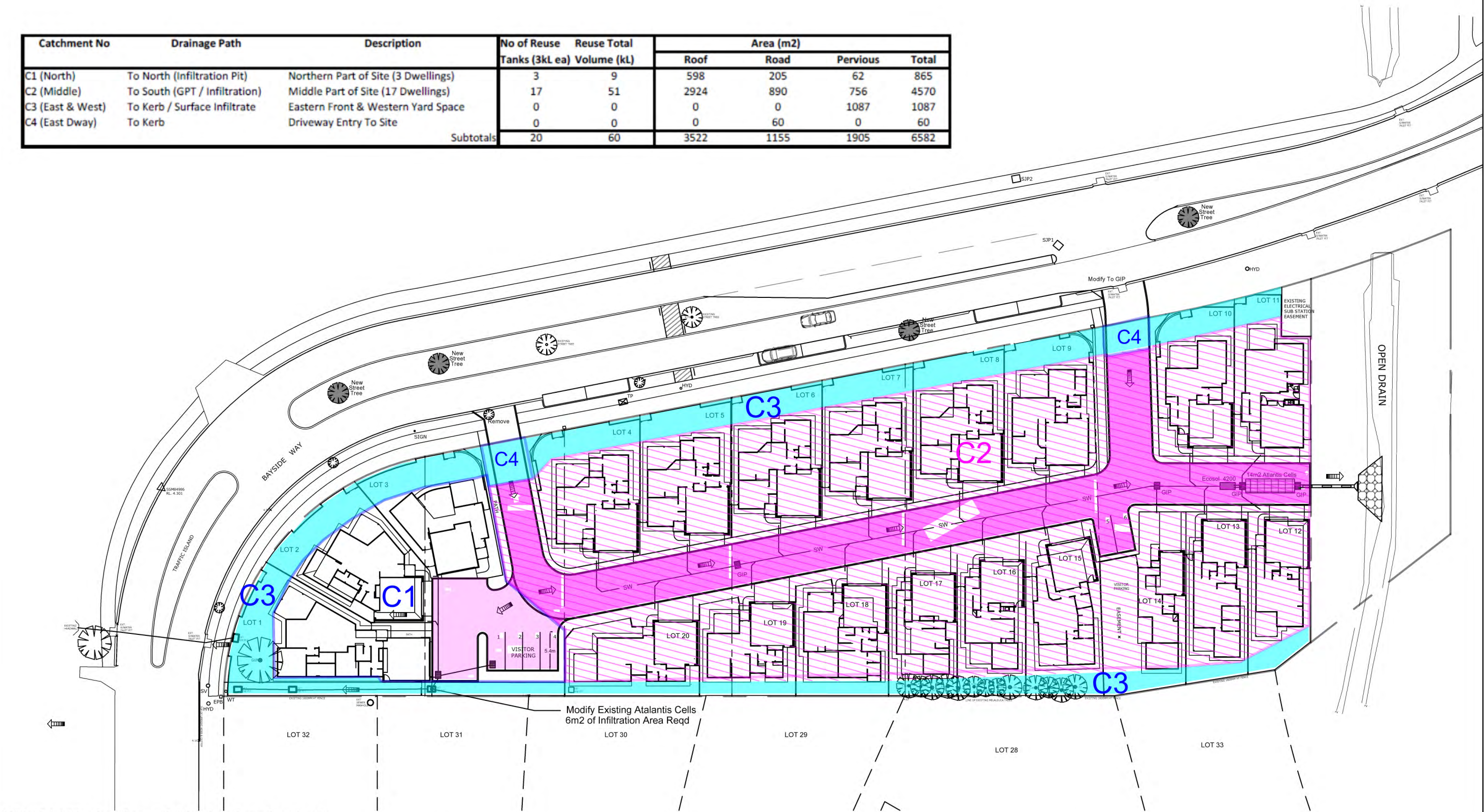
PROJECT	20 Dwelling Development	ADDRESS	35 Bayside Way Brunswick Heads	DATE	April 2021	REV
CLIENT	J & G Mills	LAND	Lot 1 - 6 DP1261870	DRAWING PURPOSE	Development Application	
DRAWING DETAILS	Stormwater Management Plan			DRAWING NUMBER	2061 - C2	

LEGEND

- Pervious Yard Space 1087m2 (Catchment C3) and Driveway Impervious 60m2 (Catchment C4)
- Impervious Parking Pavement 205m2 in Catchment C1
- Impervious Driveway Pavement 890m2 in Catchment C2

CATCHMENT SUMMARY TABLE

Catchment No	Drainage Path	Description	No of Reuse Tanks (3kL ea)	Reuse Total Volume (kL)	Area (m2)			
					Roof	Road	Pervious	Total
C1 (North)	To North (Infiltration Pit)	Northern Part of Site (3 Dwellings)	3	9	598	205	62	865
C2 (Middle)	To South (GPT / Infiltration)	Middle Part of Site (17 Dwellings)	17	51	2924	890	756	4570
C3 (East & West)	To Kerb / Surface Infiltrate	Eastern Front & Western Yard Space	0	0	0	0	1087	1087
C4 (East Dway)	To Kerb	Driveway Entry To Site	0	0	0	60	0	60
Subtotals			20	60	3522	1155	1905	6582



SDS Civil Ref: JN2061 Survey Datum: AHD / MGA Survey Source: Cantys Surveying

SDS Civil Enterprises

A.B.N. 56 656 467 255

461 Hinterland Way, Knockrow NSW

m 0438 725 414 e peterw@sdscivil.com.au

IMPORTANT NOTES

1. Verify and locate all dimensions and levels PRIOR to performing any works.
2. Ensure DBYD enquiries are made to locate current service information.
3. Pothole or service locator of any underground services before performing works.
4. Drawing may not be modified or used by others without approval of SDS Civil Enterprises.
© Copyright SDS Civil Enterprises

Rev	Date	Amendment
A		
B		
C		
D		

APPROVED

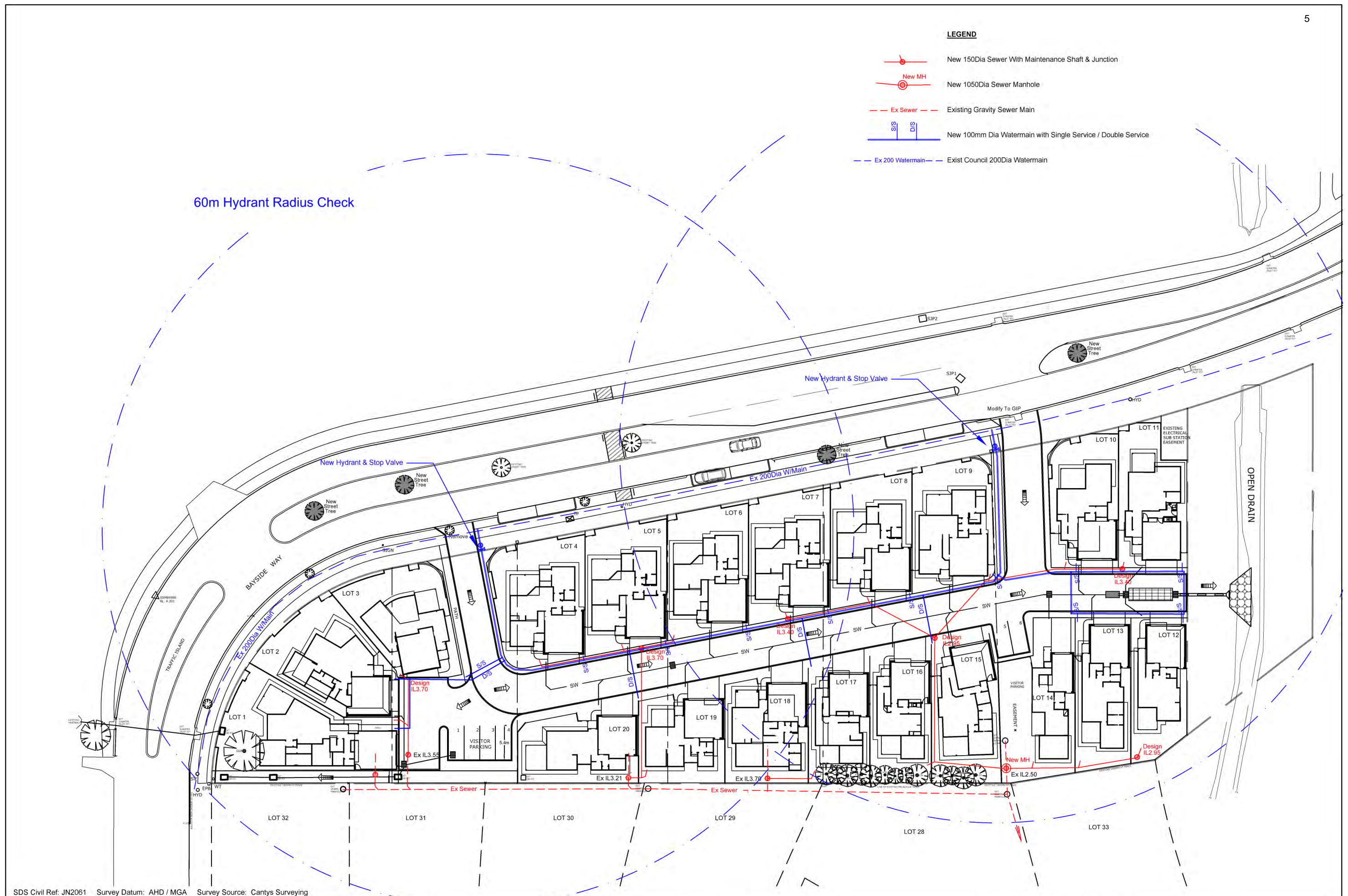
SCALE

0 5 10 15

1:500 at A3 UNO

Mr P Williams B.Eng (Civil)

PROJECT	20 Dwelling Development	ADDRESS	35 Bayside Way Brunswick Heads	DATE	April 2021	REV
CLIENT	J & G Mills	LAND	Lot 1 - 6 DP1261870	DRAWING PURPOSE	Development Application	
DRAWING DETAILS	Stormwater Catchment Plan			DRAWING NUMBER	2061 - C3	



SDS Civil Ref: JN2061 Survey Datum: AHD / MGA Survey Source: Cantys Surveying

SDS Civil Enterprises

A.B.N. 56 656 467 255

461 Hinterland Way, Knockrow NSW

m 0438 725 414 e peterw@sdscivil.com.au

IMPORTANT NOTES

- IMPORTANT NOTES**
1. Verify and locate all dimensions and levels PRIOR to performing any works.
 2. Ensure DBYD enquiries are made to locate current service information.
 3. Pothole or service locator of any underground services before performing works.
 4. Drawing may not be modified or used by others without approval of SDS Civil Enterprises.
- © Copyright SDS Civil Enterprises

Rev	Date	Amendment
A		
B		
C		
D		

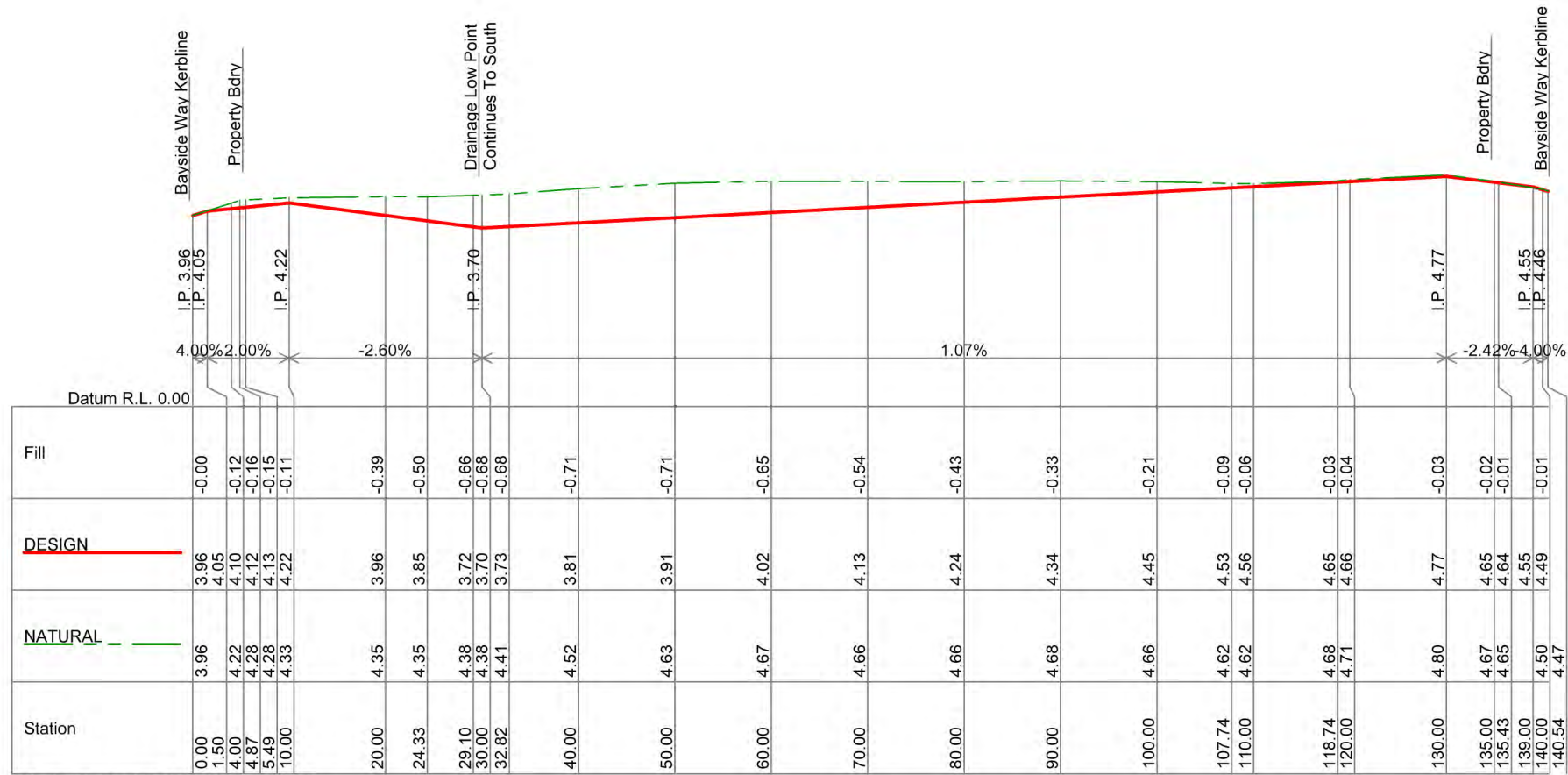
SCALE

1:500 at A3 UNO

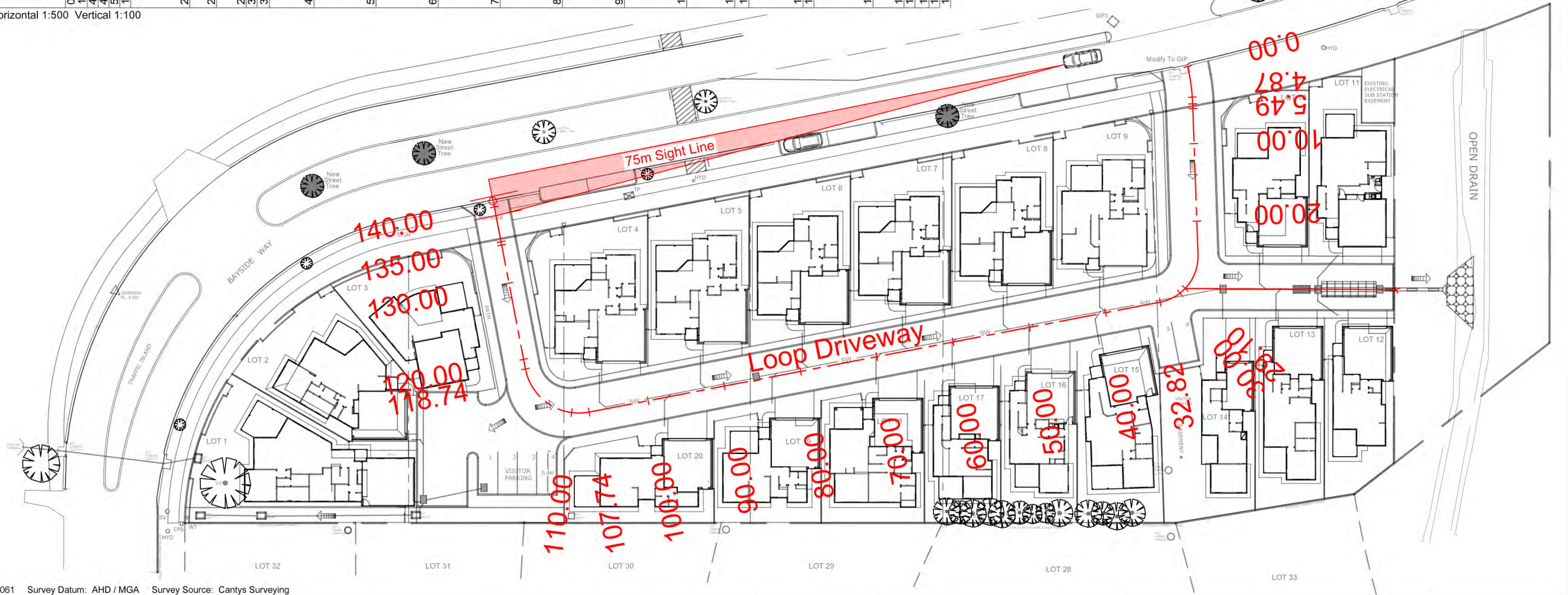
PR Williams

Mr P Williams B.Eng (Civil)

REV	PROJECT	20 Dwelling Development	ADDRESS	35 Bayside Way Brunswick Heads	DATE	April 2021	REV
	CLIENT	J & G Mills	LAND	Lot 1 - 6 DP1261870	DRAWING PURPOSE	Development Application	
	DRAWING DETAILS	Water and Sewer Reticulation			DRAWING NUMBER	2061 - C4	



Scale Horizontal 1:500 Vertical 1:100



SDS Civil Ref: JN2061 Survey Datum: AHD / MGA Survey Source: Cantys Surveying

SDS Civil Enterprises
A.B.N. 56 656 467 255
461 Hinterland Way, Knockrow NSW
m 0438 725 414 e peterw@sdscivil.com.au

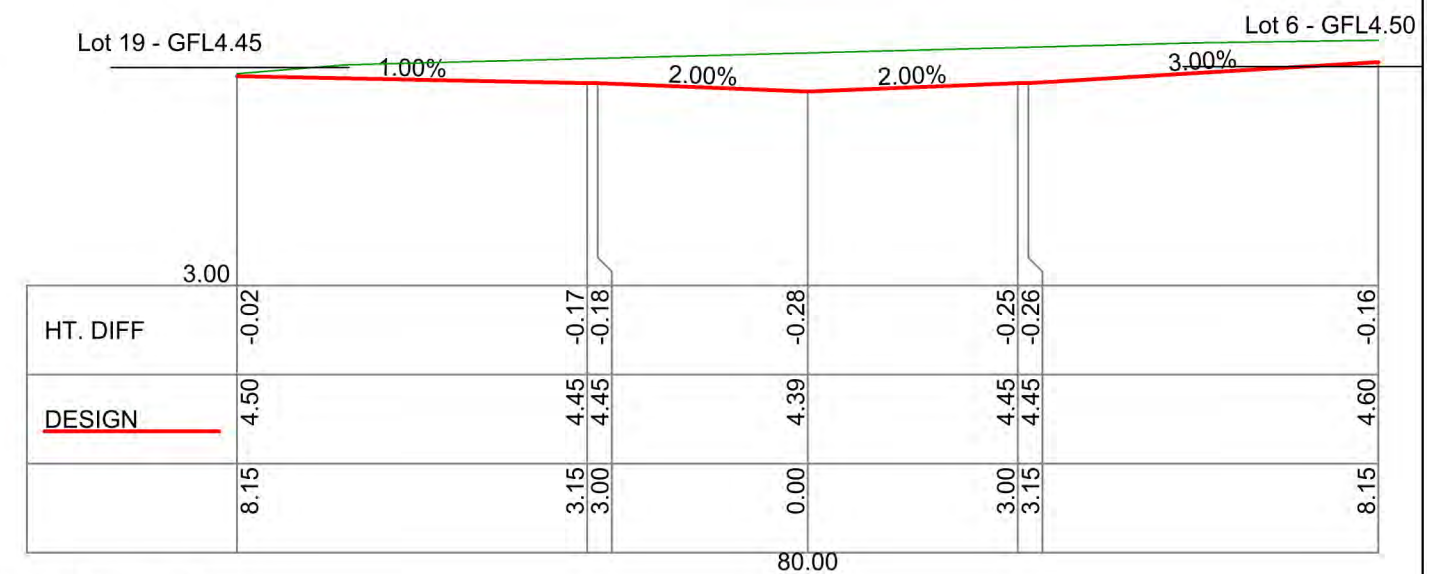
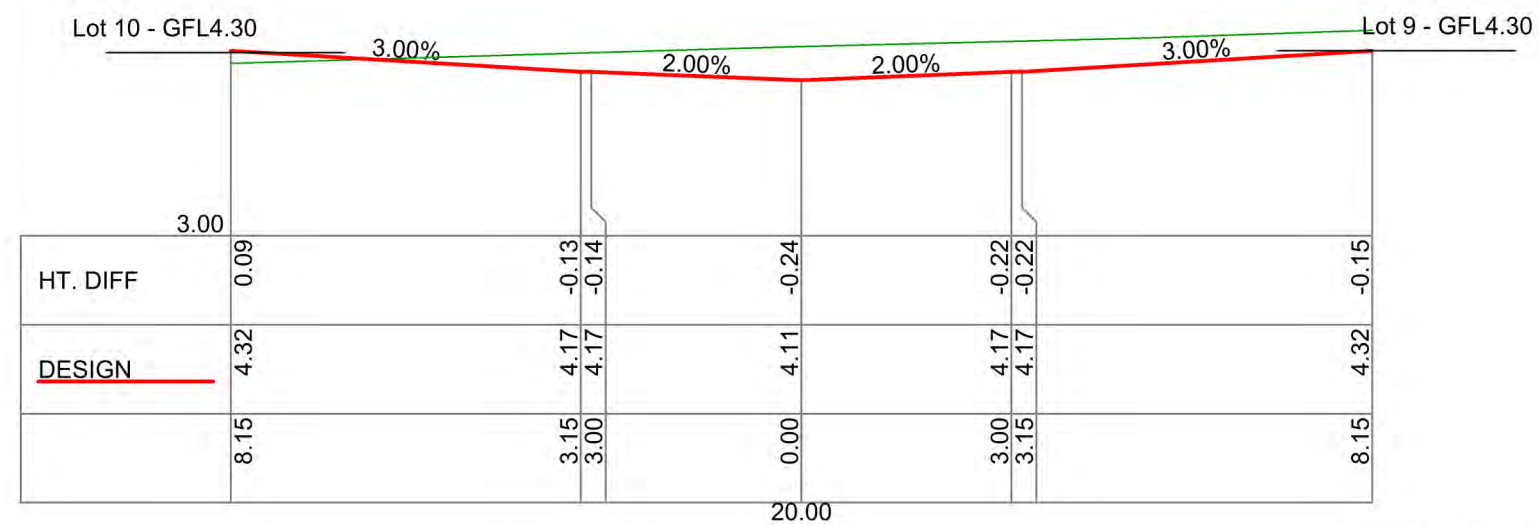
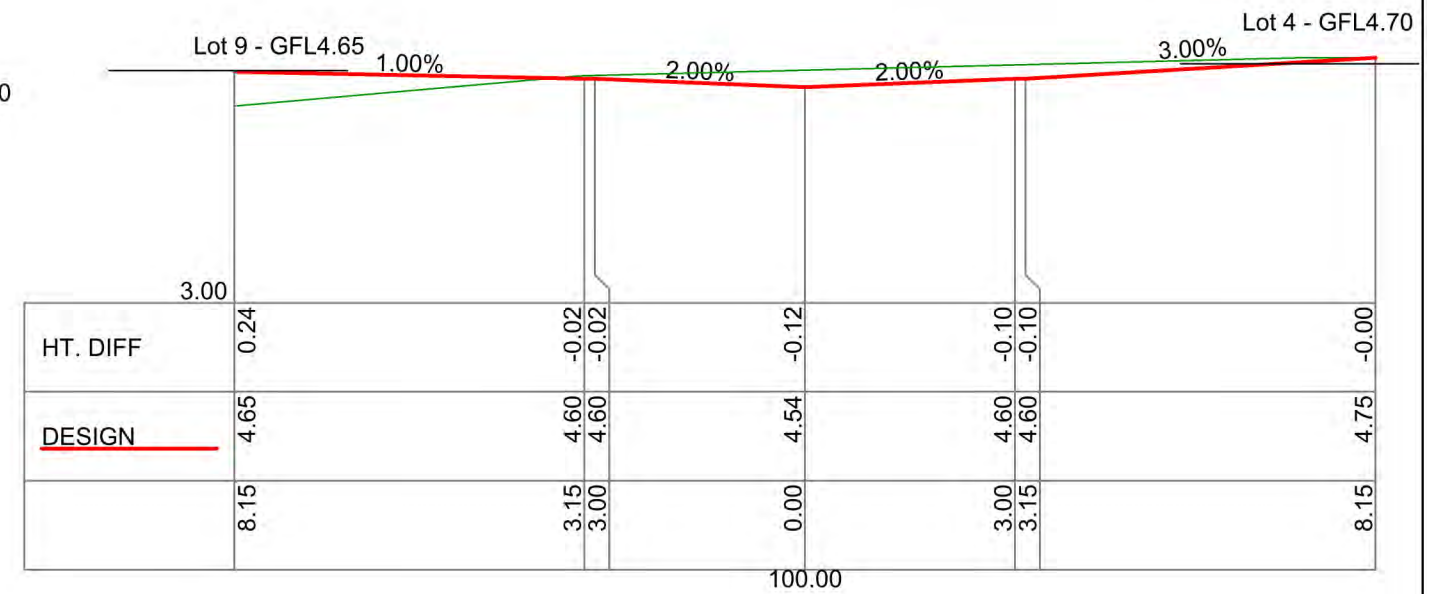
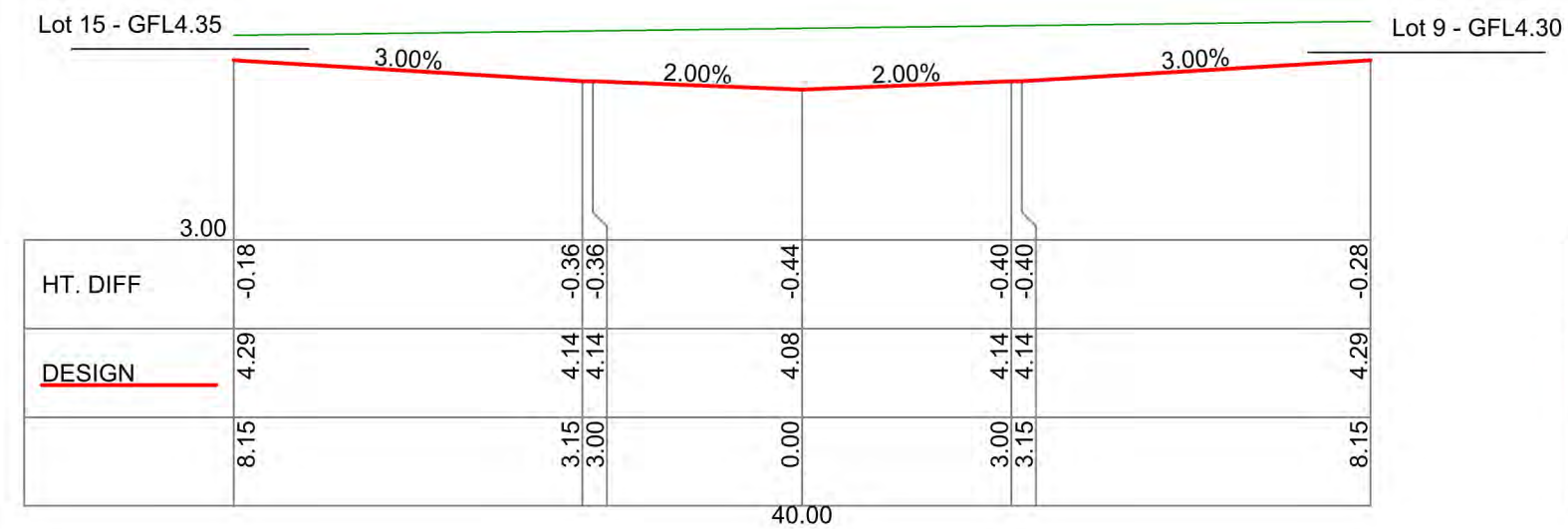
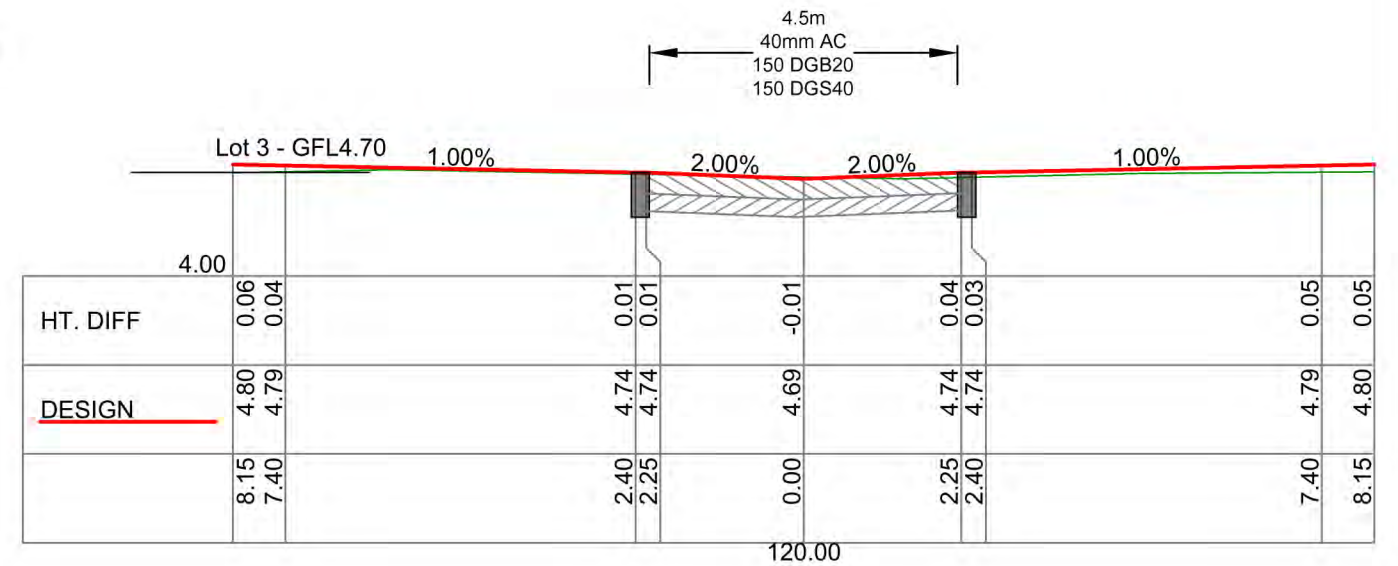
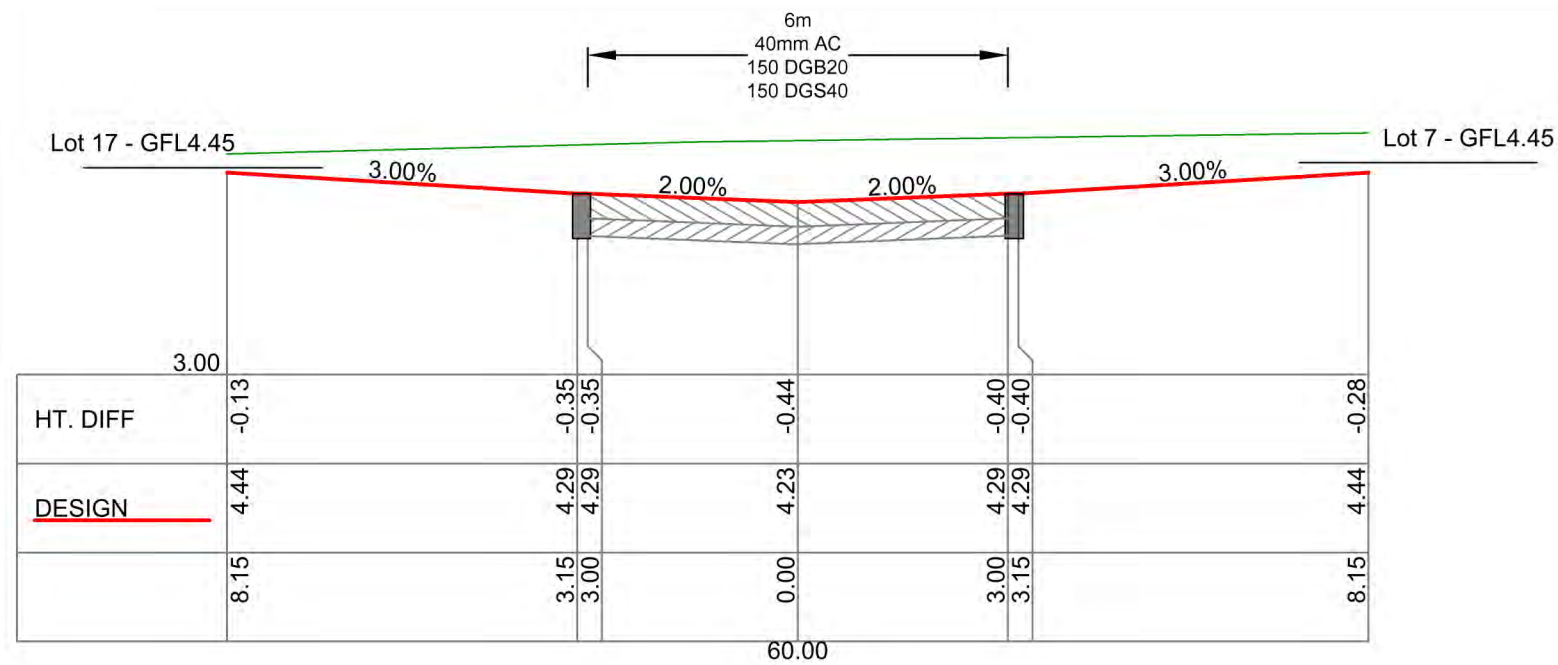
IMPORTANT NOTES
1. Verify and locate all dimensions and levels PRIOR to performing any works.
2. Ensure DBYD enquiries are made to locate current service information.
3. Pothole or service locator of any underground services before performing works.
4. Drawing may not be modified or used by others without approval of SDS Civil Enterprises.
© Copyright SDS Civil Enterprises

Rev	Date	Amendment
A		
B		
C		
D		

APPROVED


SCALE
1:500 at A3 UNO
Mr P Williams B.Eng (Civil)

PROJECT	20 Dwelling Development	ADDRESS	35 Bayside Way Brunswick Heads	DATE	April 2021	REV	
CLIENT	J & G Mills	LAND	Lot 1 - 6 DP1261870	DRAWING PURPOSE	Development Application		
DRAWING DETAILS	Internal Driveway Plan Chainages			DRAWING NUMBER	2061 - C5		-



SDS Civil Ref: JN2061 Survey Datum: AHD / MGA Survey Source: Cantys Surveying






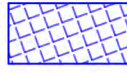

LEGEND: GFL = Garaged Floor Level

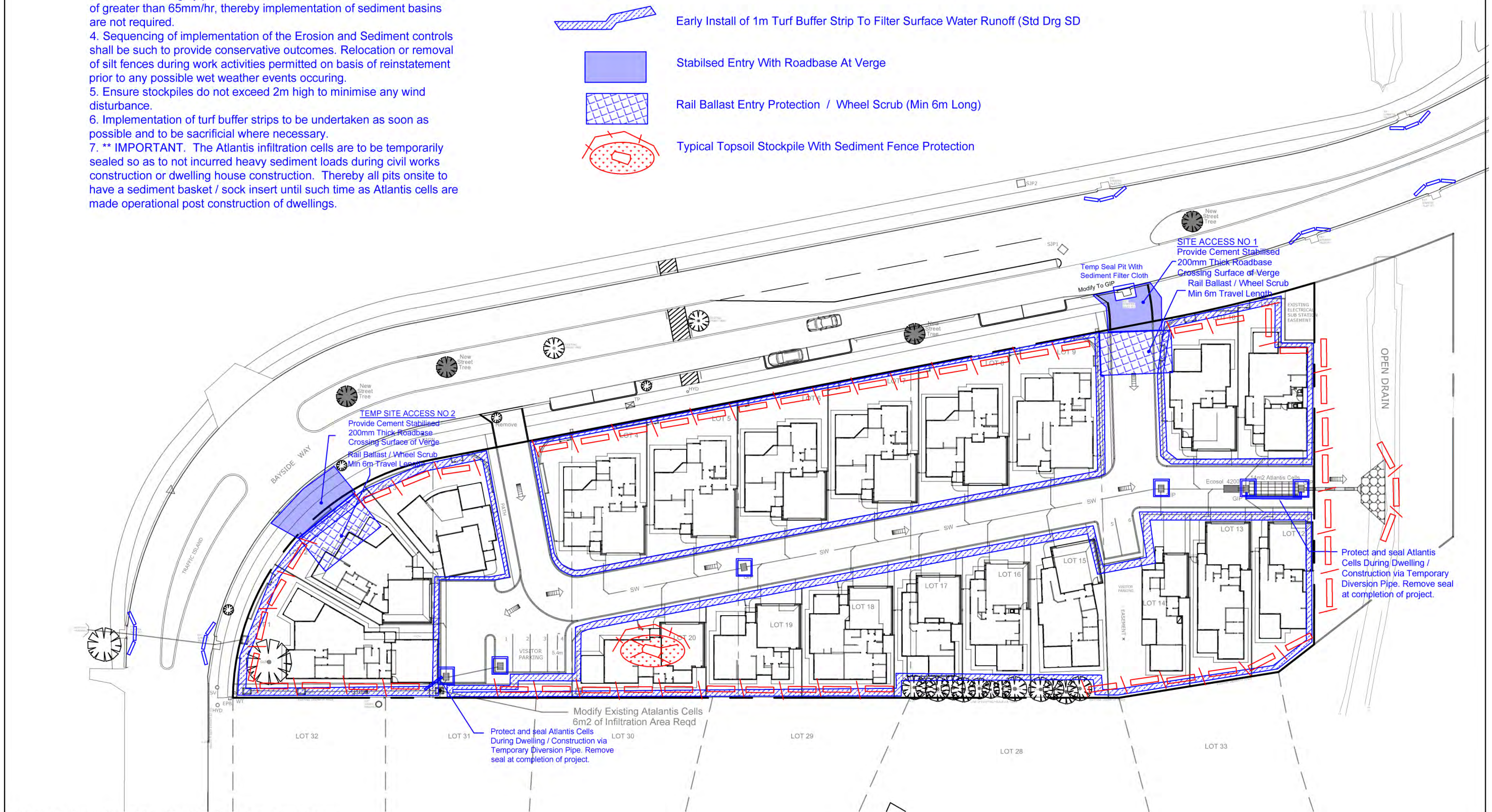
SDS Civil Enterprises A.B.N. 56 656 467 255 461 Hinterland Way, Knockrow NSW m 0438 725 414 e peterw@sdscivil.com.au	IMPORTANT NOTES 1. Verify and locate all dimensions and levels PRIOR to performing any works. 2. Ensure DBYD enquiries are made to locate current service information. 3. Pothole or service locator of any underground services before performing works. 4. Drawing may not be modified or used by others without approval of SDS Civil Enterprises. © Copyright SDS Civil Enterprises	Rev	Date	Amendment	SCALE As per dimensions  Mr P Williams B.Eng (Civil)	PROJECT	20 Dwelling Development	ADDRESS	35 Bayside Way Brunswick Heads	DATE	April 2021	REV
		A				CLIENT	J & G Mills	LAND	Lot 1 - 6 DP1261870	DRAWING PURPOSE	Development Application	
		B				DRAWING DETAILS	Internal Driveway Cross Section Profiles			DRAWING NUMBER	2061 - C6	
		C										
		D			APPROVED							

Notes


- 1.Implementation of Erosion and Sediment controls to be in accordance with the 'BLUE BOOK' (Managing Urban Stormwater - Soils and Construction, Landcom 2004). The BLUE BOOK is available for download from WWW.environment.nsw.gov.au/publications.
- 2.Standard drawing details are shown on Drg SWMP - 2 of 2. Use of alternative equivalent devices are permitted, subject to be approval in writing by the supervising engineer.
3. The site is a highly porous sand material with infiltration test results of greater than 65mm/hr, thereby implementation of sediment basins are not required.
4. Sequencing of implementation of the Erosion and Sediment controls shall be such to provide conservative outcomes. Relocation or removal of silt fences during work activities permitted on basis of reinstatement prior to any possible wet weather events occurring.
5. Ensure stockpiles do not exceed 2m high to minimise any wind disturbance.
6. Implementation of turf buffer strips to be undertaken as soon as possible and to be sacrificial where necessary.
7. ** IMPORTANT. The Atlantis infiltration cells are to be temporarily sealed so as to not incurred heavy sediment loads during civil works construction or dwelling house construction. Thereby all pits onsite to have a sediment basket / sock insert until such time as Atlantis cells are made operational post construction of dwellings.

LEGEND

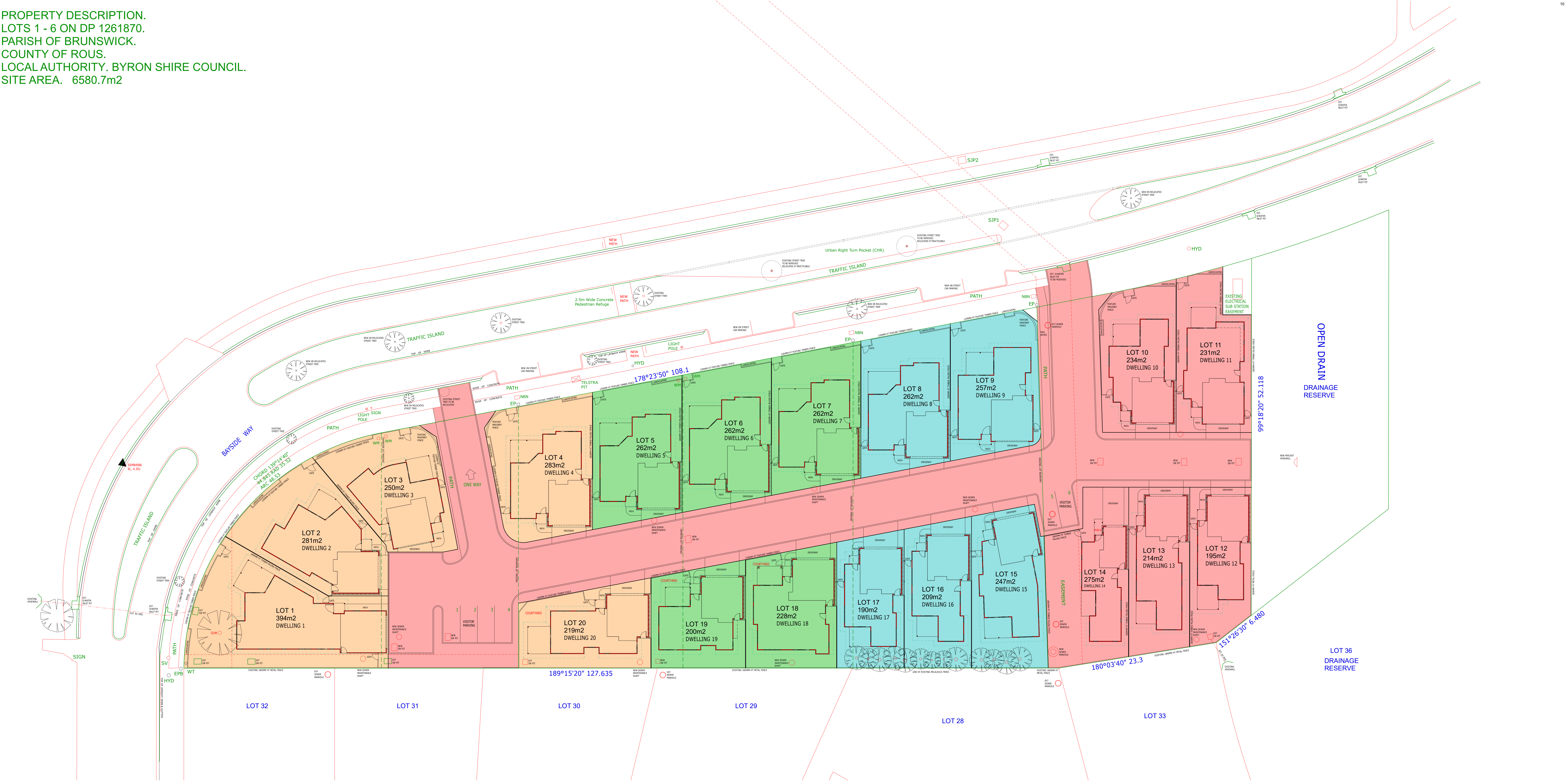
-  Sediment Pit Control Sausage or Similar (Std Drg SD6-11)
-  Sediment Fence (Std Drg SD6-8)
-  Pit Protection Via Sediment Basket/Sock Insert (Std Drg SD)
-  Early Install of 1m Turf Buffer Strip To Filter Surface Water Runoff (Std Drg SD)
-  Stabilised Entry With Roadbase At Verge
-  Rail Ballast Entry Protection / Wheel Scrub (Min 6m Long)
-  Typical Topsoil Stockpile With Sediment Fence Protection



SDS Civil Ref: JN2061 Survey Datum: AHD / MGA Survey Source: Cantys Surveying

<div>SDS Civil Enterprises</div> <div>A.B.N. 56 656 467 255</div> <div>461 Hinterland Way, Knockrow NSW</div> <div>m 0438 725 414 e peterw@sdscivil.com.au</div>		<div>IMPORTANT NOTES</div> <div>1. Verify and locate all dimensions and levels PRIOR to performing any works.</div> <div>2. Ensure DBYD enquiries are made to locate current service information.</div> <div>3. Pothole or service locator of any underground services before performing works.</div> <div>4. Drawing may not be modified or used by others without approval of SDS Civil Enterprises.</div> <div>© Copyright SDS Civil Enterprises</div>		Rev	Date	Amendment	<div>SCALE</div> <div><div>051015</div><div>1:500 at A3 UNO</div><div></div><div>Mr P Williams B.Eng (Civil)</div></div>		PROJECT	20 Dwelling Development	ADDRESS	35 Bayside Way Brunswick Heads	DATE	June 2021	REV		
				A					CLIENT	J & G Mills	LAND	Lot 1 - 6 DP1261870	DRAWING PURPOSE	Development Application			
				B					APPROVED	DRAWING DETAILS	Soil and Water Management Plan			DRAWING NUMBER		SWMP1 of 2	-
				C													
				D													

PROPERTY DESCRIPTION.
LOTS 1 - 6 ON DP 1261870.
PARISH OF BRUNSWICK.
COUNTY OF ROUS.
LOCAL AUTHORITY. BYRON SHIRE COUNCIL.
SITE AREA. 6580.7m2



STAGE 1

DWELLINGS 10, 11, 12, 13, 14

CIVILS WORKS INCLUDING ALL INTERNAL ROADS,

SERVICES, CONSTRUCTION OF RIGHT TURN LANE,

PEDESTRIAN PATHS, ON STREET CAR PARKING

STAGE 2

DWELLINGS 8, 9, 15, 16, 17

INCLUDING DRIVEWAYS,

PATHS, FENCING

STAGE 3

DWELLINGS 5, 6, 7, 18, 19

INCLUDING DRIVEWAYS,

PATHS, FENCING

STAGE 4

DWELLINGS 1, 2, 3, 4, 20

INCLUDING DRIVEWAYS,

PATHS, FENCING

CONSTRUCTION STAGING PLAN

SCALE 1:200

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT.
PROPOSED NEW UNIT DEVELOPMENT.
AT.
Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.
FOR.
Mr J. & Mrs G. Mills.

Design & Documentation by Douglas Cope. QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

DATE: APR, 21
DRAWN: D.C.
SCALE: 1:200

DRAWING TITLE: **CONSTRUCTION STAGING PLAN.**
PROJECT No. **B1161** DWG No. **CSP1A**

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc
Mobile 0401 000126
Email doug@ppdc.com.au

prestigepropertiesdesign&construction
Development Consultants|Architectural Designers
RAIA 25222. QBSA Licence No. 1037753

PROPERTY DESCRIPTION.
LOTS 1 - 6 ON DP 1261870.
PARISH OF BRUNSWICK.
COUNTY OF ROUS.
LOCAL AUTHORITY. BYRON SHIRE COUNCIL.
SITE AREA. 6580.7m2



CONCEPT LANDSCAPING PLAN

SCALE 1:200

LEGEND. LANDSCAPING.

- LARGE STREET/FEATURE TREES**
Weeping Lilly Pilly. (Waterhousea Floribunda).
Tuckeroo. (Cupaniopsis Anacardioides).
- SMALL TREES**
Melaleuca Little Red. (Melaleuca Linarifolia).
Lilly Pilly Backyard Bliss. (Syzygium Paniculatum).
Dwarf Red Tea Tree. (Leptospermum Nanum Nanum).
- HEDGES**
Lilly Pilly. (Syzygium Australe).
- SHRUBS, GRASSES, GROUND COVERS**
Eureka Callisemon. (Callistemon Salignus).
Westringia. (Westringia Fruticosa).
Grevillea Lemon Baby. (Grevillea Thelemanniana).
Westringia "Smokie". (Westringia Fruticosa).
Callistemon Little John. (Callistemon Viminalis).
Cordylina. (Cordylina Fruticosa).
Lomandra. (Lomandra Confertifolia spp pallida).
- FRUIT TREES.**
Eureka Lemon. (Citrus x Limon).
Tahitian Lime. (Citrus x Latifolia).
Frantoio Olive. (Olea Europaea).

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT.

PROPOSED NEW UNIT DEVELOPMENT.

AT.

Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.

FOR.

Mr J. & Mrs G. Mills.

Design & Documentation by Douglas Cope. QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

DATE. APR, 21

DRAWN. D.C.

SCALE. 1 : 200

DRAWING TITLE. **LANDSCAPING PLAN.**

PROJECT No. **B1161** DWG No. **LP1** **A**

PPDC
prestigepropertiesdesign&construction

49 Kingsley Lane
Byron Bay NSW 2481

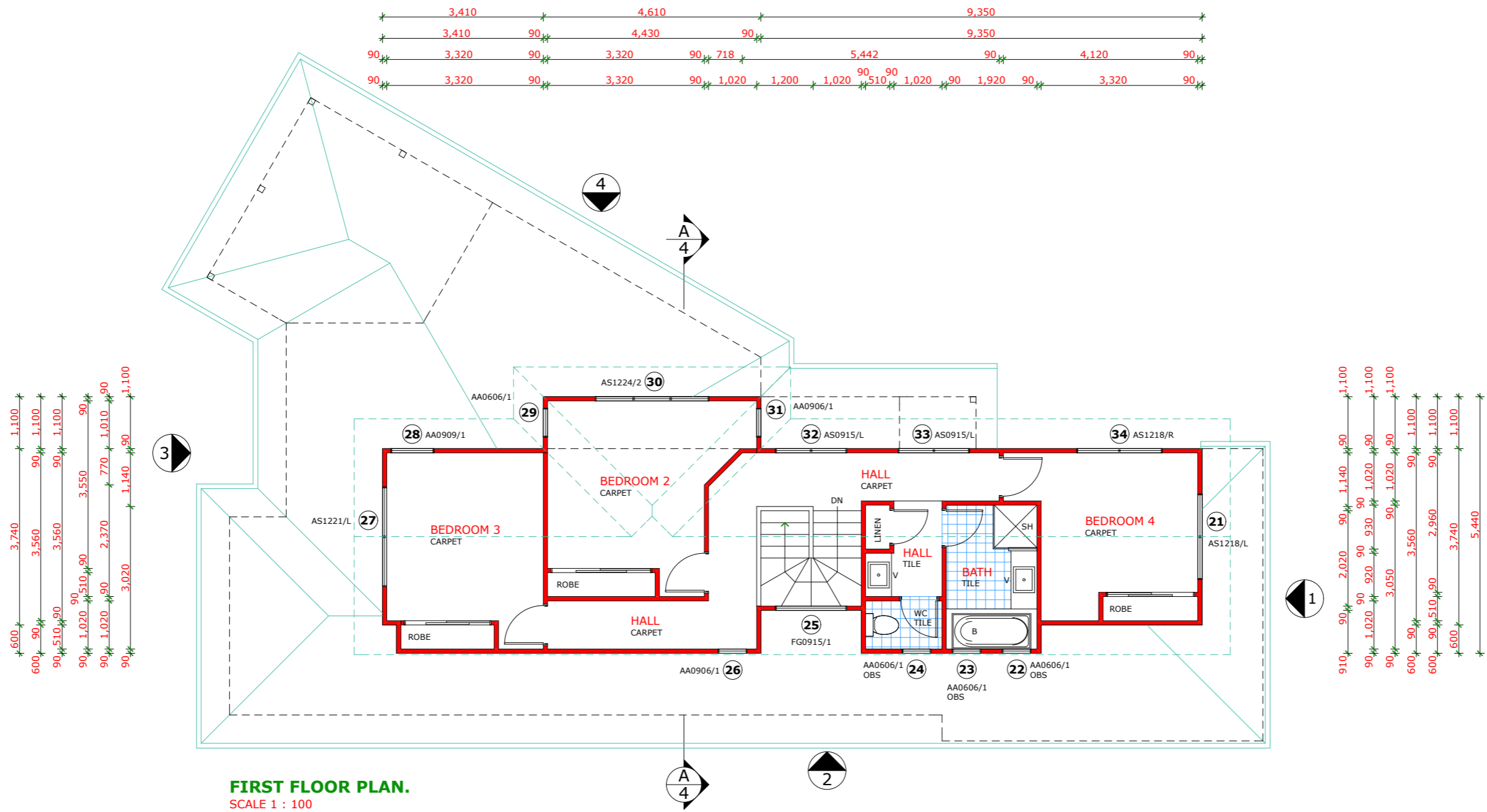
Mobile 0401 000126
Email doug@ppdc.com.au

Development Consultants|Architectural Designers
RA1A 25222. QBSA Licence No. 1037753

[illegible]

AT. Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.
FOR. Mr J. & Mrs G. Mills.

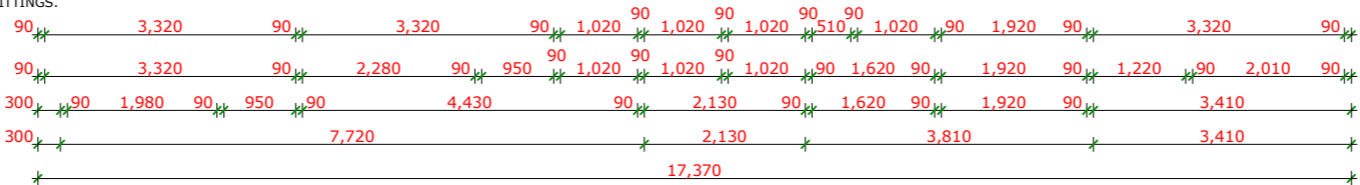
Ppdc 49 Kingsley Lane
Byron Bay NSW 2481
Mob. 0401 000126
Email doug@ppdc.com.au
prestige properties design & construction
Development Consultants|Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.



FIRST FLOOR PLAN.

SCALE 1 : 100

NOTE:
ALL FIRST FLOOR WINDOWS TO BE IN ACCORDANCE WITH
BCA. VOLUME 2. CLAUSE 3.9.2.5. PROTECTION OF OPENABLE WINDOWS.
LOUVRE AND AWNING WINDOWS OPENABLE PORTION TO BE PROTECTED WITH:
(A). A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENING.
(B). A SCREEN WITH SECURE FITTINGS.



DWELLING 1
FIRST FLOOR PLAN

SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

Design & Documentation by Douglas Cope. QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

DATE. MAR, 21
DRAWN. D.C.
SCALE. 1 : 100

DRAWING TITLE. **FIRST FLOOR PLAN.**
PROJECT No. **B1161** DWG No. **D1/2 A**

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc
Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.

AREA SCHEDULE.
FLOOR SPACE RATIO.

MEASURED TO THE INSIDE
FACE OF THE EXTERNAL WALLS.
NOT INCLUDING CARPARKING REQUIREMENTS,
AREA FOR VERTICAL CIRCULATION. (STAIRS).
TERRACES & BALCONIES WITH OUTER
WALLS LESS THAN 1.4 METRES HIGH.
GROUND FLOOR LIVING 116.9m2
FIRST FLOOR LIVING 67.8m2

TOTAL AREA 184.7m2

AREA SCHEDULE

GROUND FLOOR LIVING 120.8m2
GARAGE 41.5
PORCH 2.4
OUTDOOR LIVING 17.8
FIRST FLOOR LIVING 76.3m2

TOTAL AREA 258.8m2

DWELLING 1
GROUND FLOOR PLAN

SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

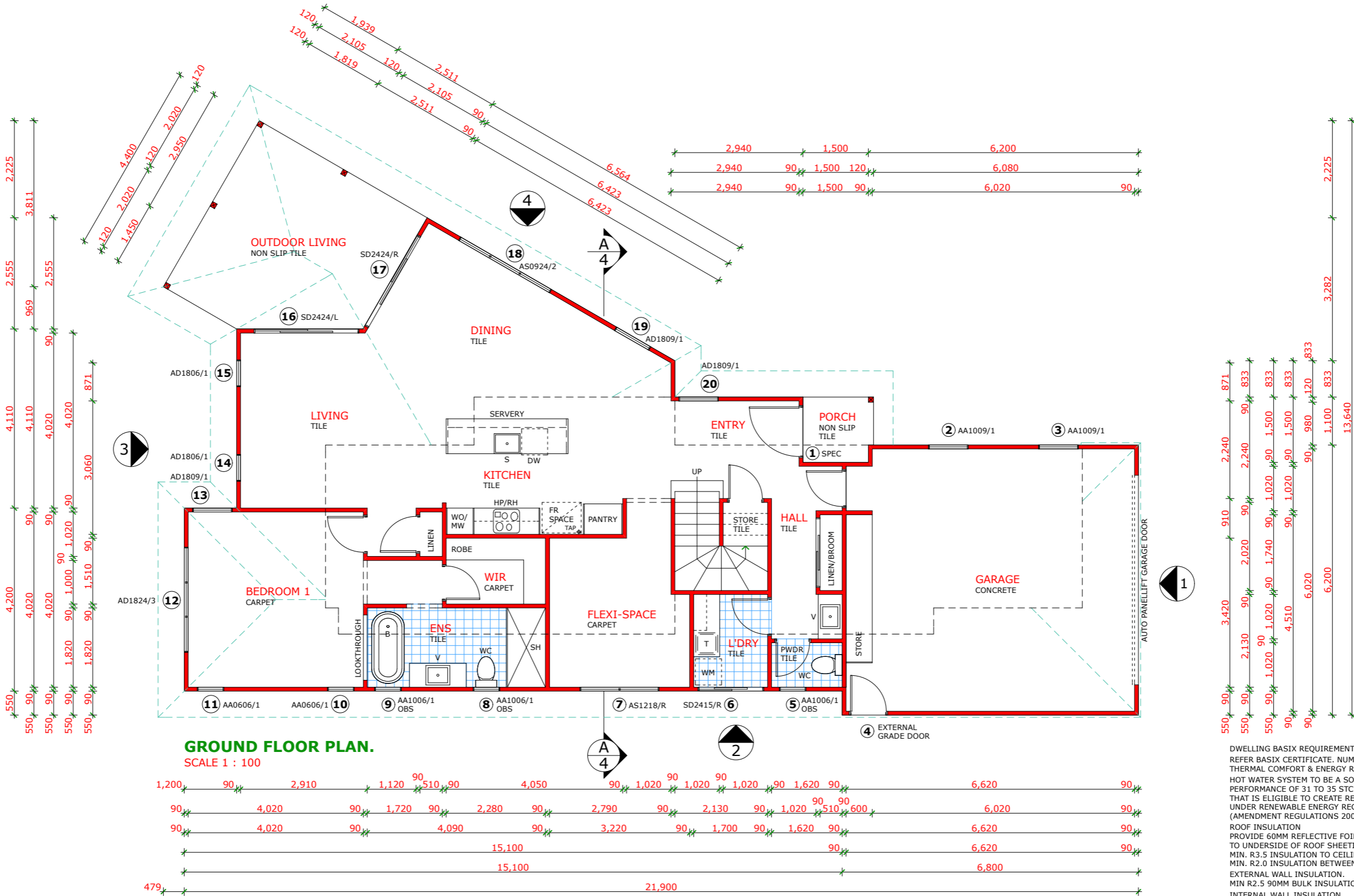
Design & Documentation by Douglas Cope.
QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

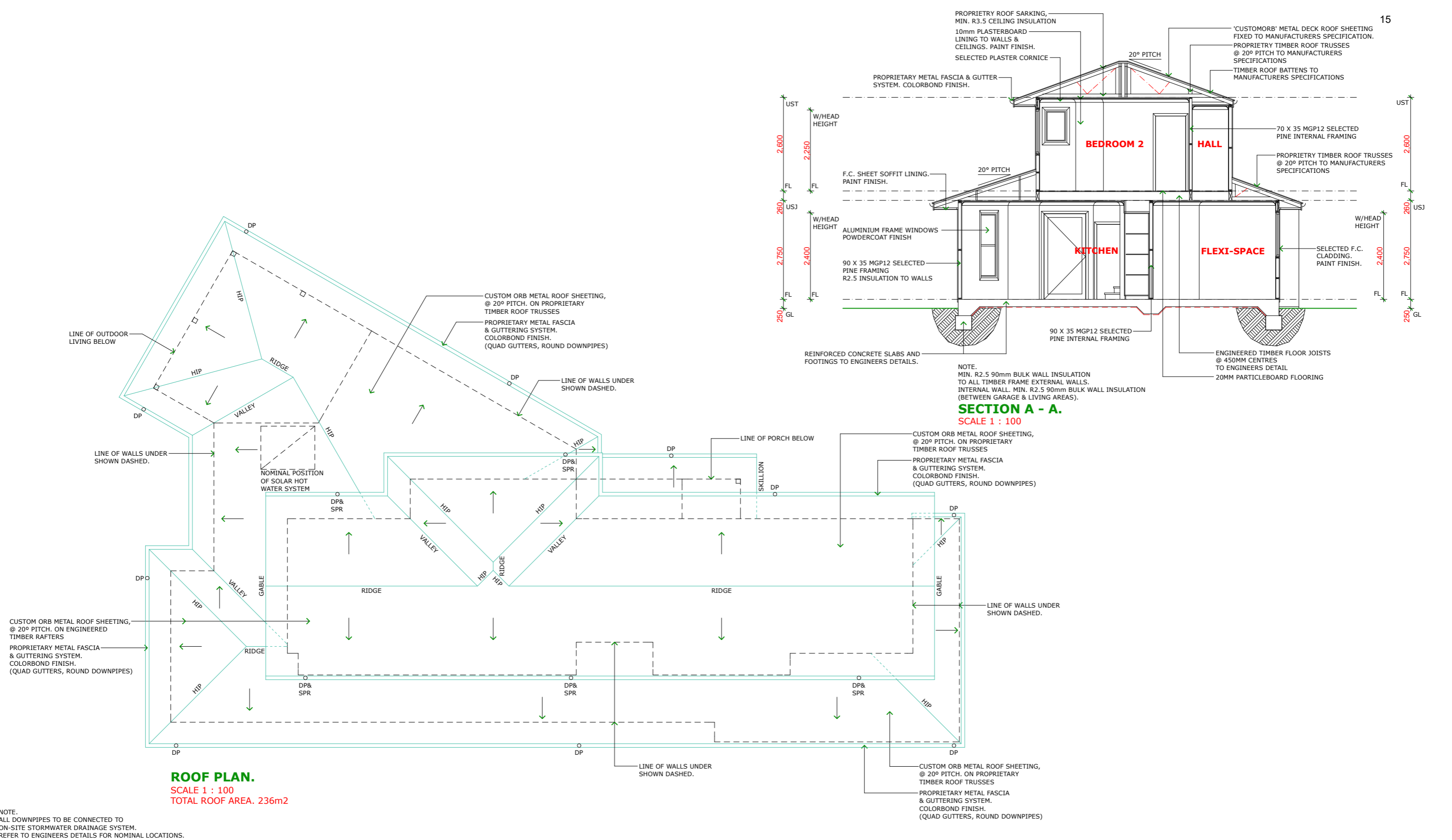
DATE. APR, 21	DRAWING TITLE. GROUND FLOOR PLAN.
DRAWN. D.C.	PROJECT No. B1161 DWG No. D1/1
SCALE. 1 : 100	

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222, QBSA Licence No. 1037753.

49 Kingsley Lane
Byron Bay NSW 2481
Ppdc
Mob. 0401 000126
Email doug@ppdc.com.au



DWELLING BASIX REQUIREMENTS.
REFER BASIX CERTIFICATE. NUMBER 1197070M FOR WATER,
THERMAL COMFORT & ENERGY REQUIREMENTS.
HOT WATER SYSTEM TO BE A SOLAR (ELECTRIC BOOSTED) SYSTEM.
PERFORMANCE OF 31 TO 35 STC'S OR BETTER.
THAT IS ELIGIBLE TO CREATE RENEWABLE ENERGY CERTIFICATES
UNDER RENEWABLE ENERGY REGULATIONS 2001.
(AMENDMENT REGULATIONS 2005 No 2).
ROOF INSULATION
PROVIDE 60MM REFLECTIVE FOIL BLANKET.
TO UNDERSIDE OF ROOF SHEETING THROUGHOUT.
MIN. R3.5 INSULATION TO CEILINGS
MIN. R2.0 INSULATION BETWEEN GARAGE & FLOOR ABOVE
EXTERNAL WALL INSULATION.
MIN R2.5 90MM BULK INSULATION TO ALL TIMBER FRAME EXTERNAL WALLS.
INTERNAL WALL INSULATION.
MIN R2.0 90MM BULK INSULATION BETWEEN GARAGE & LIVING AREAS.
ALL SHOWERHEADS TO HAVE A MINIMUM 3 STAR RATING.
(>7.5 but <=9 L/Min)
ALL TOILETS TO HAVE A MINIMUM 3 STAR RATING.
AND BE DUAL FLUSH.
SINK AND BASIN TAPS TO HAVE A MINIMUM 3 STAR RATING.
EXTERNAL COLOUR SCHEME
ROOF SHEETING. COLORBOND. MEDIUM COLOUR.
CEILING FANS TO A MINIMUM OF 1 LIVING AREA AND 1 BEDROOM
WINDOWS, DOORS TO BE IN ACCORDANCE WITH
THERMAL COMFORT COMMITMENTS. BASIX CERTIFICATE NUMBER 1197070M.



NOTE.
ALL DOWNPIPES TO BE CONNECTED TO
ON-SITE STORMWATER DRAINAGE SYSTEM.
REFER TO ENGINEERS DETAILS FOR NOMINAL LOCATIONS.

DWELLING 1
CONSTRUCTION SECTION, ROOF PLAN
SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

Design & Documentation by Douglas Cope.
QBSA Licence No. 1037753
ABN. 86 86 11 73 484

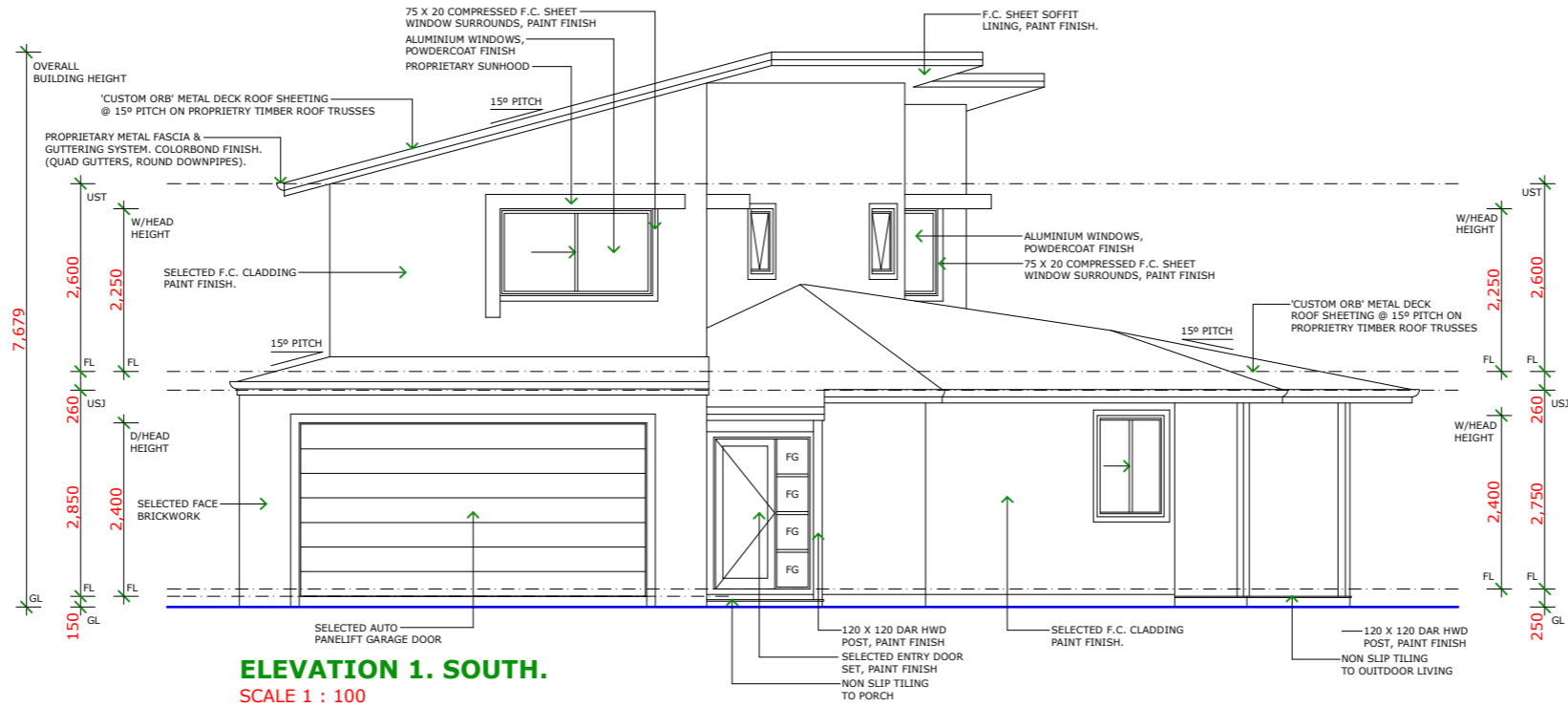
All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

DATE. APR, 21	DRAWING TITLE. CONST. SECTION, ROOF PLAN.
DRAWN. D.C.	PROJECT No. B1161 DWG No. D1/4 A
SCALE. 1 : 100	

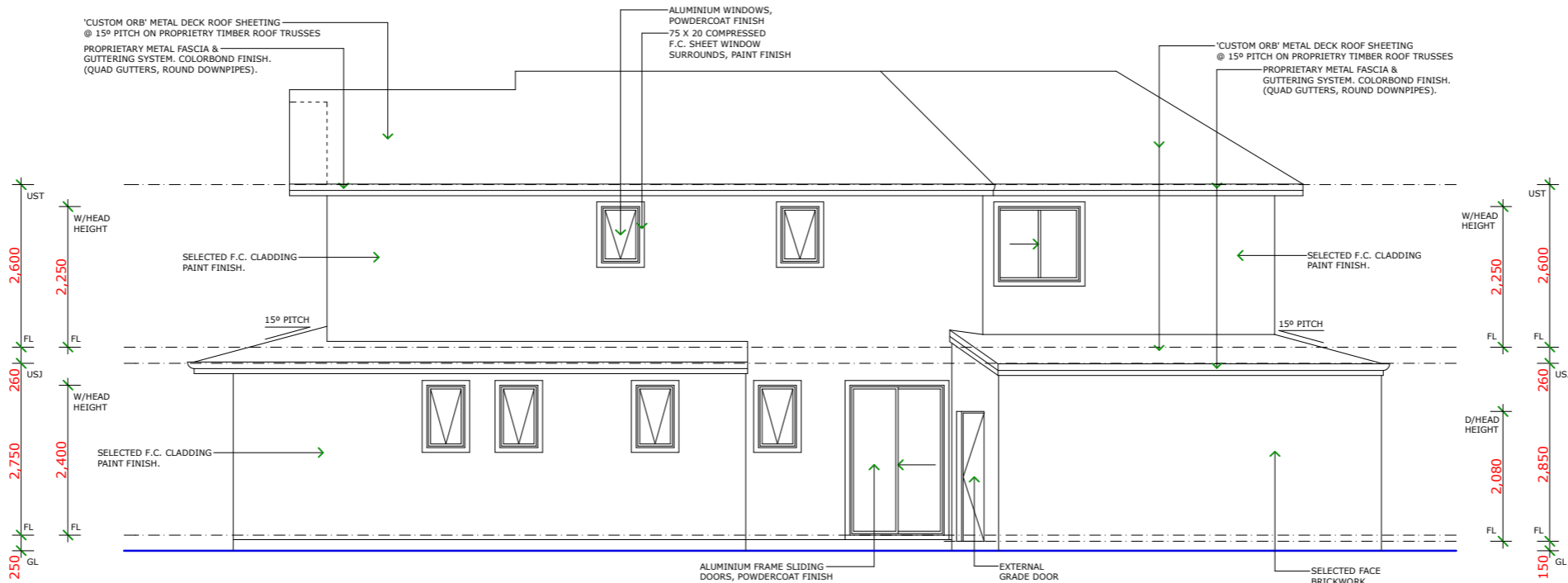
49 Kingsley Lane
Byron Bay NSW 2481

Ppdc
Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222, QBSA Licence No. 1037753.



ELEVATION 1. SOUTH.
SCALE 1 : 100



ELEVATION 2. WEST.
SCALE 1 : 100

DWELLING 2
ELEVATIONS
SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

Design & Documentation by Douglas Cope. QBSA Licence No. 1037753 ABN. 86 86 11 73 484			
All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.			
DATE. APR, 21	DRAWING TITLE. ELEVATIONS.		
DRAWN. D.C.	PROJECT No.	DWG No.	
SCALE. 1 : 100	B1161	D2/2	A

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc

Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222, QBSA Licence No. 1037753.

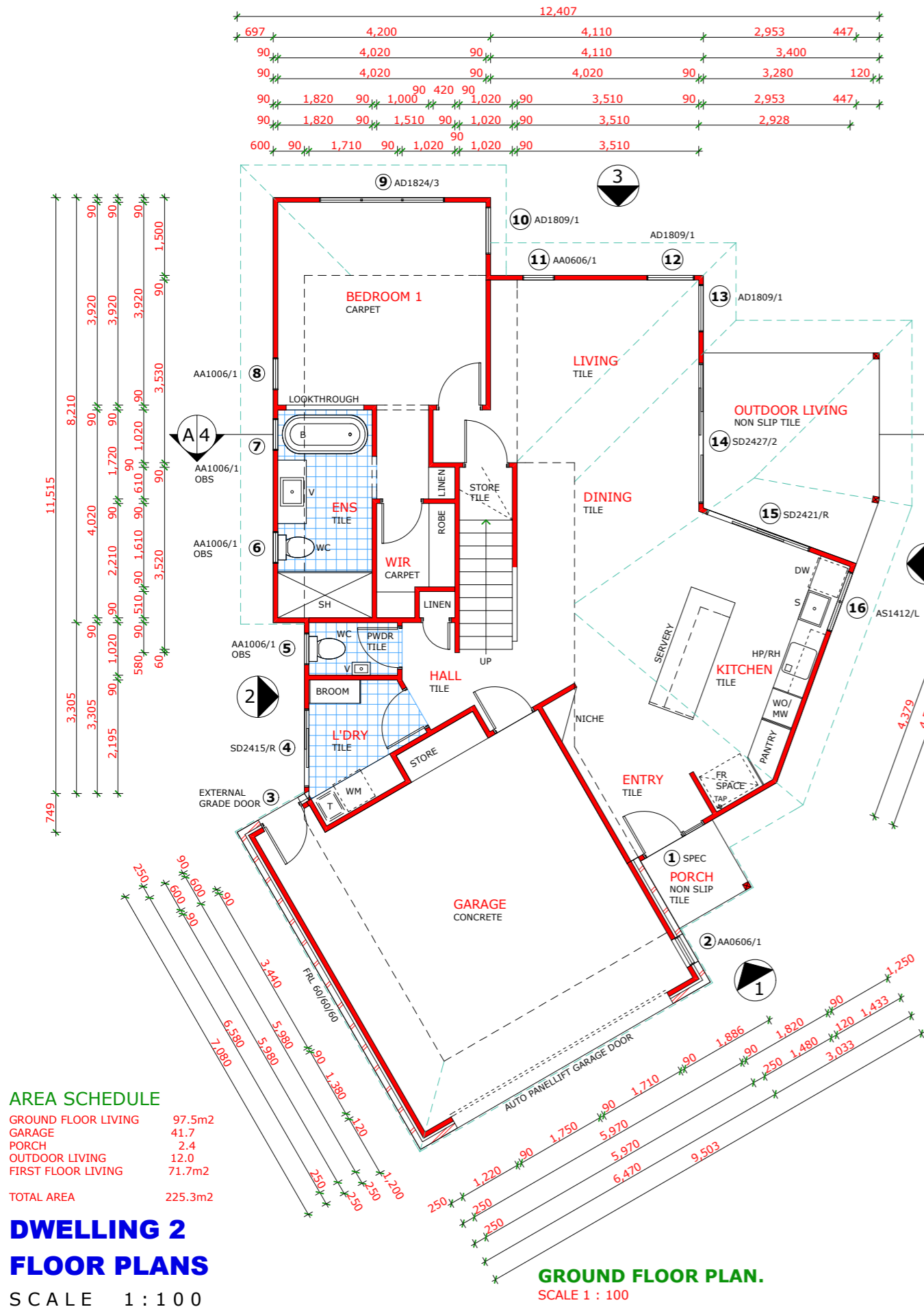
ELEVATION 4. EAST.
SCALE 1 : 100

[illegible]

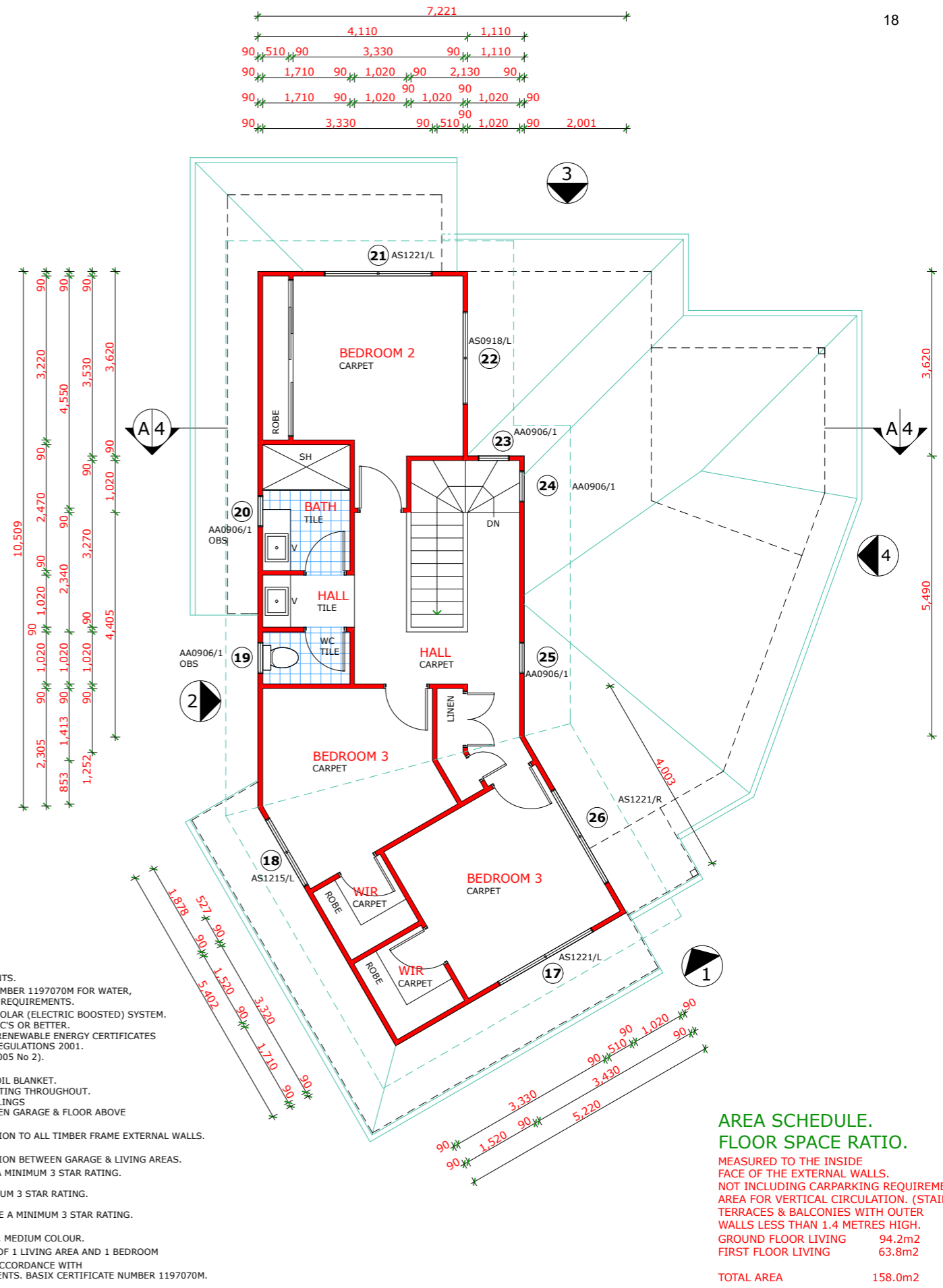
Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.
FOR.
Mr J. & Mrs G. Mills.

Design & Documentation by Douglas Cope.		QBSA Licence No. 1037753 ABN: 86 86 11 73 484	
<p>All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.</p>			
DATE. APR, 21 DRAWN. D.C. SCALE. 1 : 100	DRAWING TITLE. ELEVATIONS. PROJECT No. B1161 DWG No. D2/3 A		

Ppdc 49 Kingsley Lane
Byron Bay NSW 2481
Mob. 0401 000126
Email doug@ppdc.com.au
prestige properties design & construction
Development Consultants|Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.



DWELLING BASIX REQUIREMENTS.
REFER BASIX CERTIFICATE. NUMBER 1197070M FOR WATER, THERMAL COMFORT & ENERGY REQUIREMENTS.
HOT WATER SYSTEM TO BE A SOLAR (ELECTRIC BOOSTED) SYSTEM. PERFORMANCE OF 31 TO 35 STC'S OR BETTER.
THAT IS ELIGIBLE TO CREATE RENEWABLE ENERGY CERTIFICATES UNDER RENEWABLE ENERGY REGULATIONS 2001. (AMENDMENT REGULATIONS 2005 No 2).
ROOF INSULATION
PROVIDE 60MM REFLECTIVE FOIL BLANKET.
TO UNDERSIDE OF ROOF SHEETING THROUGHOUT.
MIN. R3.5 INSULATION TO CEILINGS
MIN. R2.0 INSULATION BETWEEN GARAGE & FLOOR ABOVE
EXTERNAL WALL INSULATION.
MIN R2.5 90MM BULK INSULATION TO ALL TIMBER FRAME EXTERNAL WALLS.
INTERNAL WALL INSULATION.
MIN R2.0 90MM BULK INSULATION BETWEEN GARAGE & LIVING AREAS.
ALL SHOWERHEADS TO HAVE A MINIMUM 3 STAR RATING.
(>7.5 but <=9 L/Min)
ALL TOILETS TO HAVE A MINIMUM 3 STAR RATING.
AND BE DUAL FLUSH.
SINK AND BASIN TAPS TO HAVE A MINIMUM 3 STAR RATING.
EXTERNAL COLOUR SCHEME
ROOF SHEETING. COLORBOND. MEDIUM COLOUR.
CEILING FANS TO A MINIMUM OF 1 LIVING AREA AND 1 BEDROOM
WINDOWS, DOORS TO BE IN ACCORDANCE WITH THERMAL COMFORT COMMITMENTS. BASIX CERTIFICATE NUMBER 1197070M.



AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

Design & Documentation by Douglas Cope. QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

DATE. APR, 21
DRAWN. D.C.
SCALE. 1 : 100

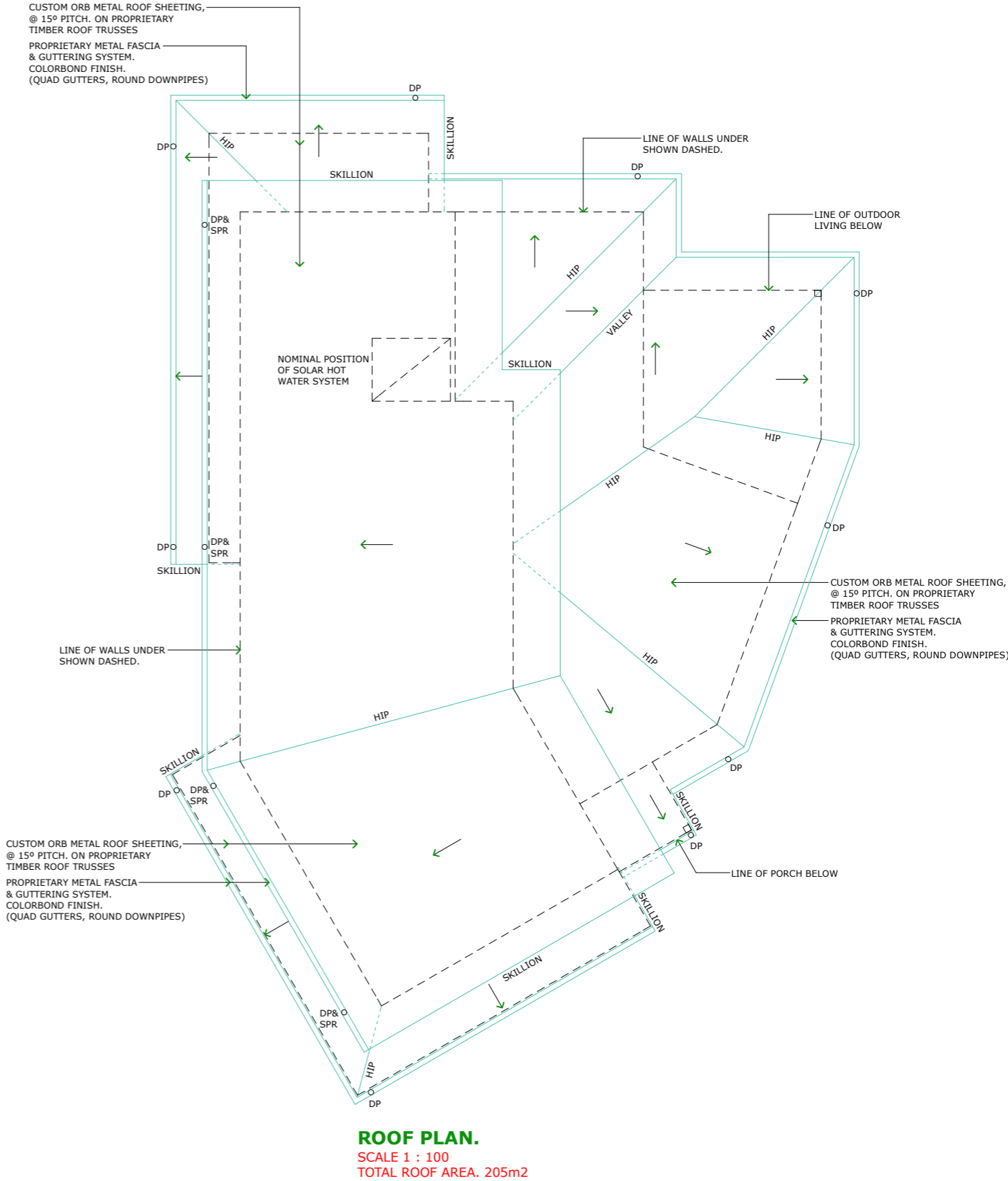
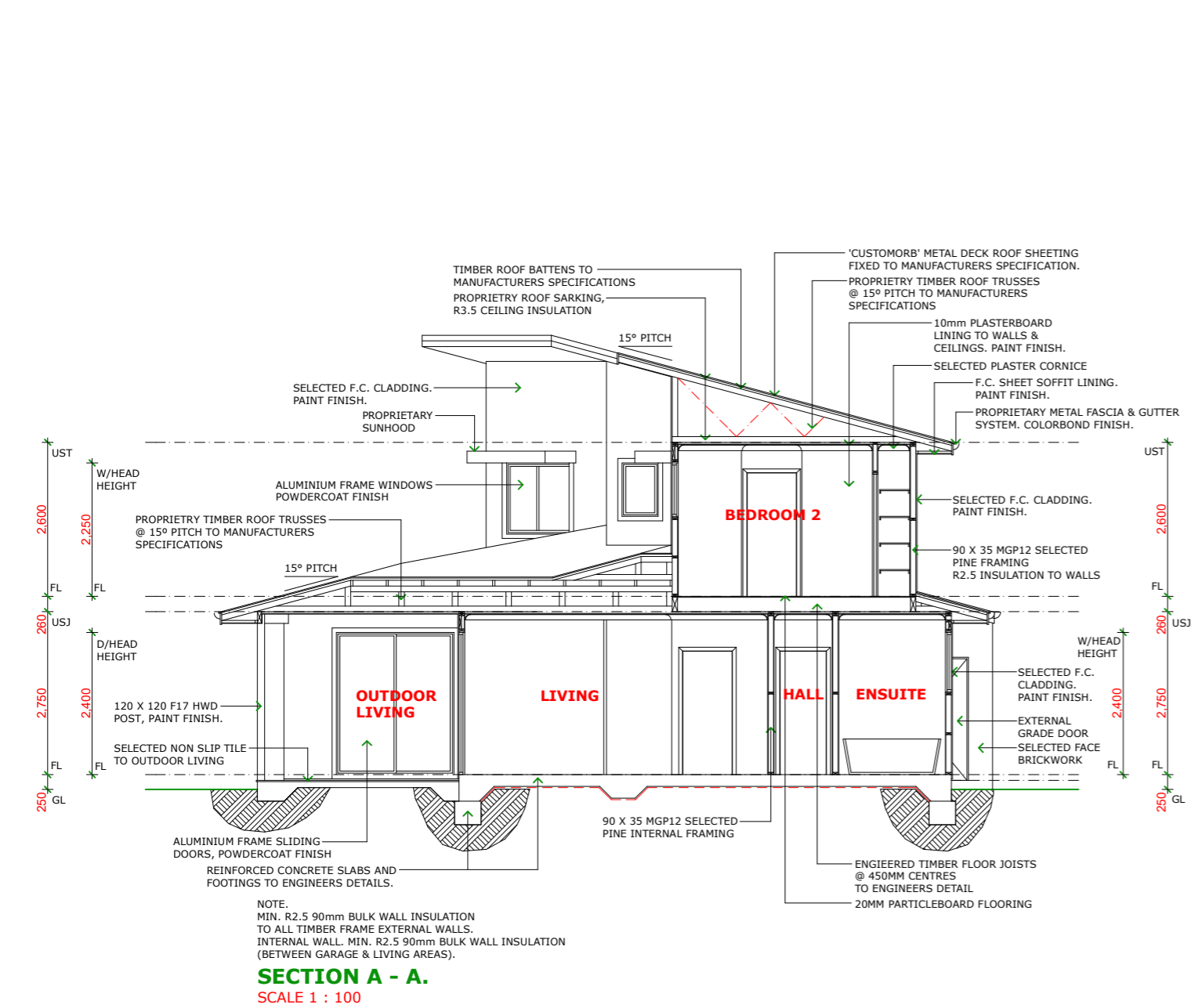
DRAWING TITLE. **FLOOR PLANS.**
PROJECT No. **B1161** DWG No. **D2/1 A**

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc

Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222, QBSA Licence No. 1037753.



NOTE.
ALL DOWNPIPES TO BE CONNECTED TO ON-SITE STORMWATER DRAINAGE SYSTEM.
REFER TO ENGINEERS DETAILS FOR NOMINAL LOCATIONS.

DWELLING 2
CONSTRUCTION SECTION, ROOF PLAN
SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

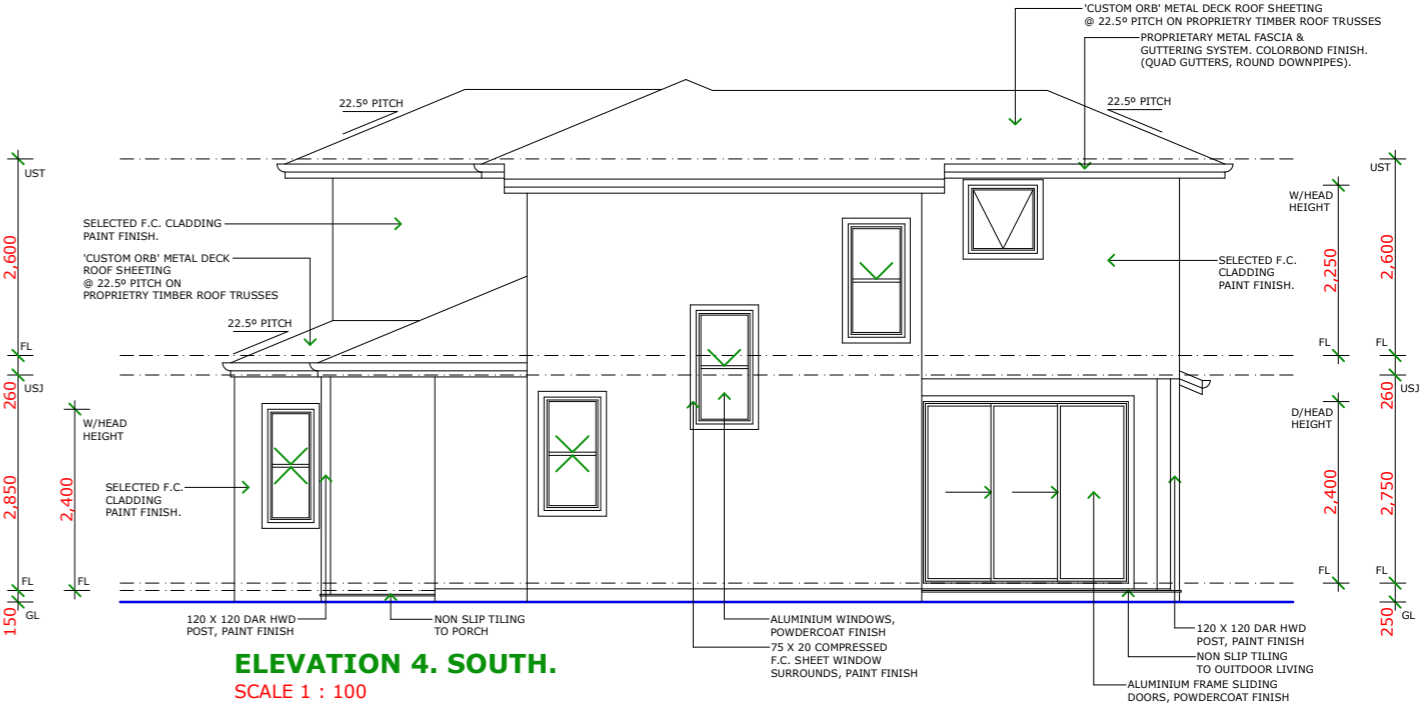
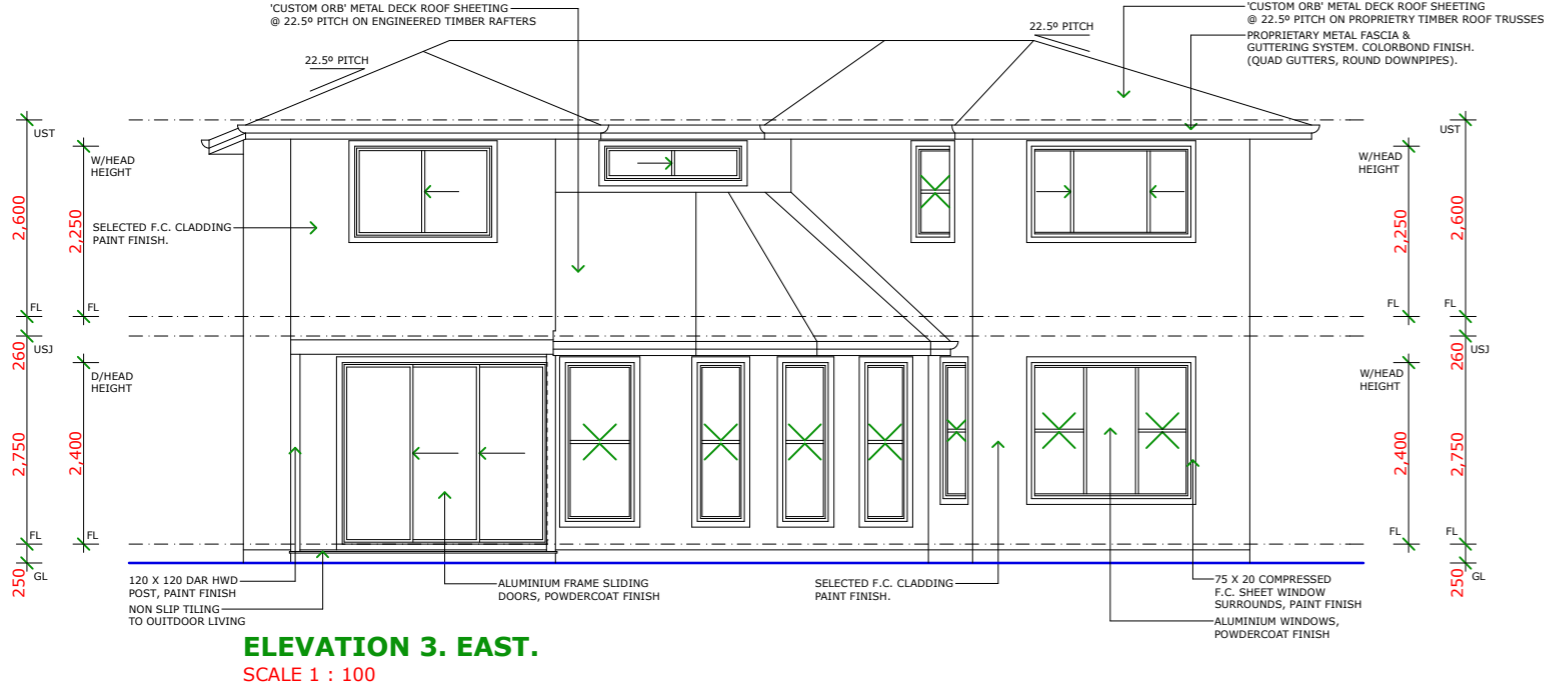
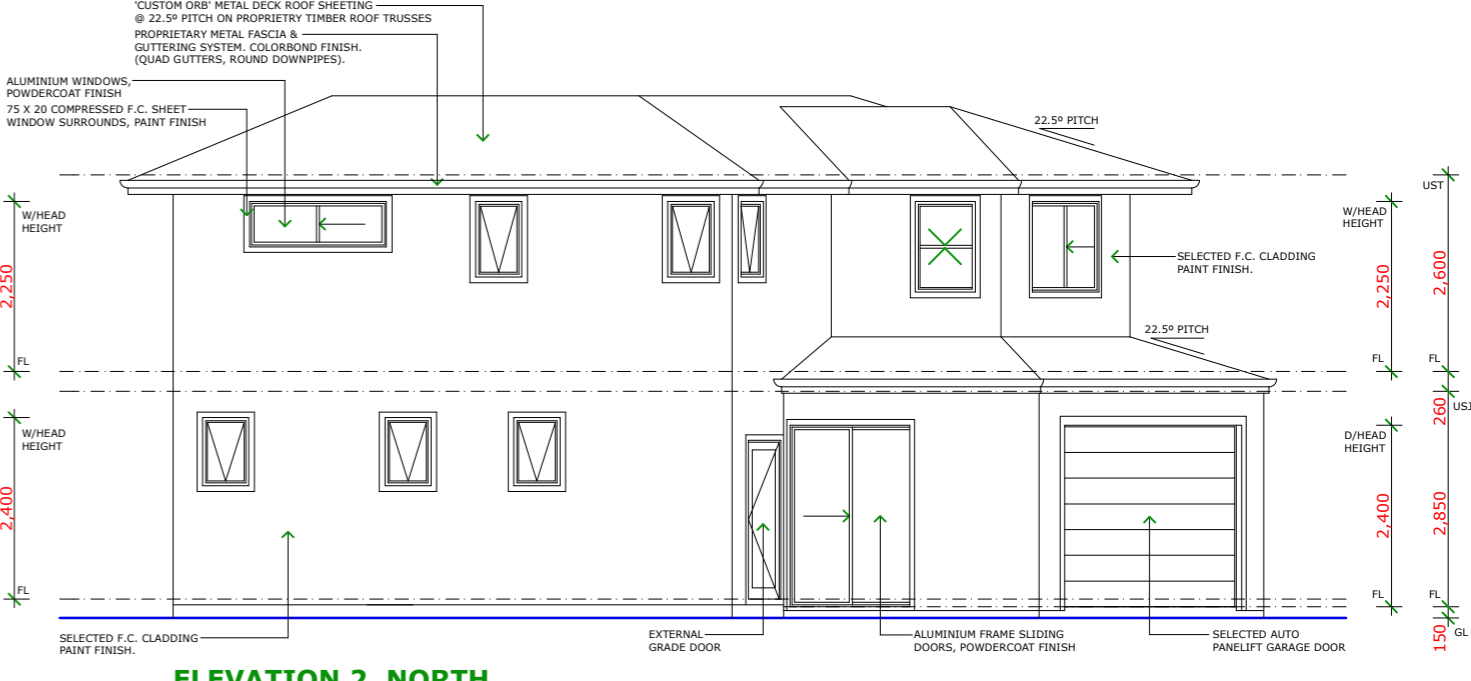
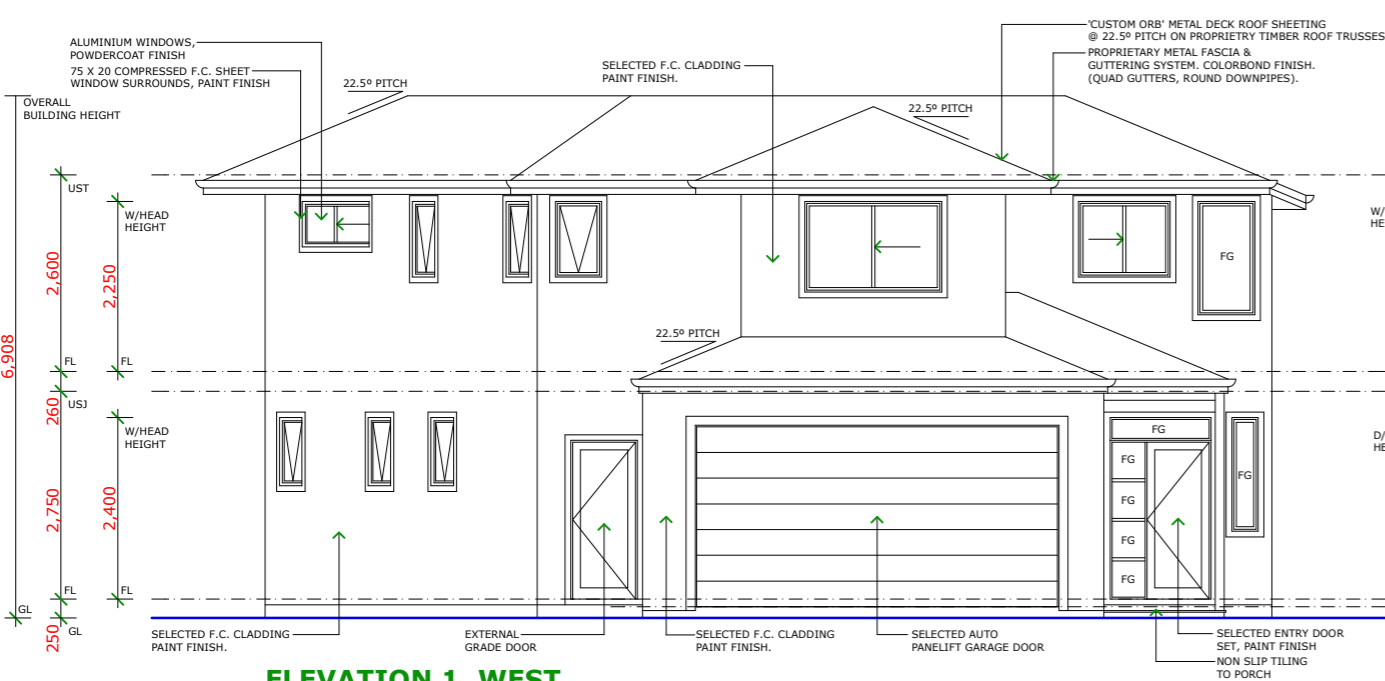
Design & Documentation by Douglas Cope. QBSA Licence No. 1037753 ABN. 86 86 11 73 484			
All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions & levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.			
DATE. APR, 21	DRAWING TITLE. CONST. SECTION, ROOF PLAN.	DWG No.	
DRAWN. D.C.	PROJECT No. B1161	DWG No.	D2/4 A
SCALE. 1 : 100			

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc

Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222, QBSA Licence No. 1037753.



DWELLING 3
ELEVATIONS

SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

Design & Documentation by Douglas Cope. QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

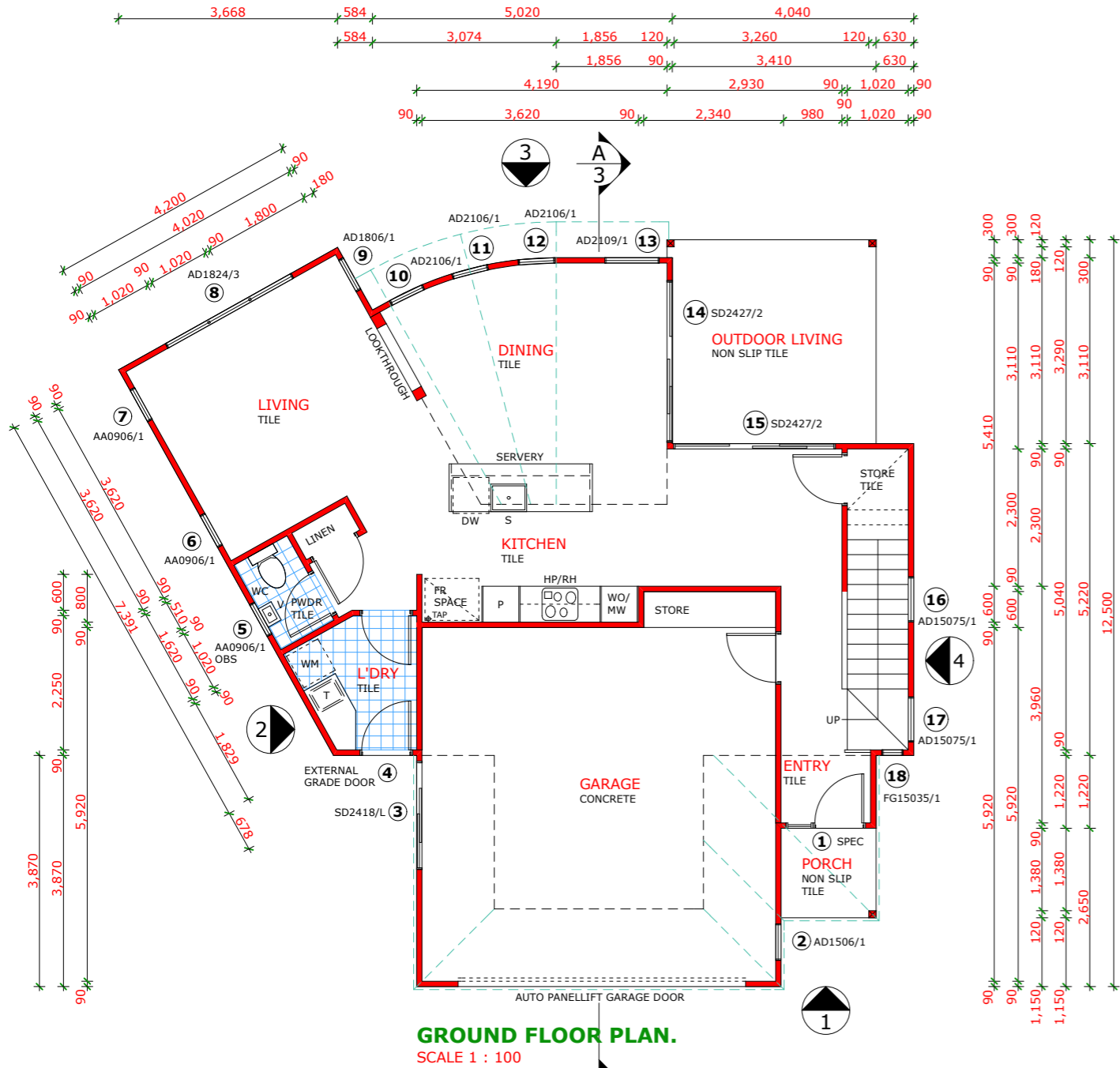
DATE. APR, 21
DRAWN. D.C.
SCALE. 1 : 100

DRAWING TITLE. **ELEVATIONS.**
PROJECT No. **B1161** DWG No. **D3/2** A

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc
Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222, QBSA Licence No. 1037753.



AREA SCHEDULE

GROUND FLOOR LIVING	70.6m2
GARAGE	37.5
PORCH	2.4
OUTDOOR LIVING	11.7
FIRST FLOOR LIVING	86.6m2
TOTAL AREA	208.8m2

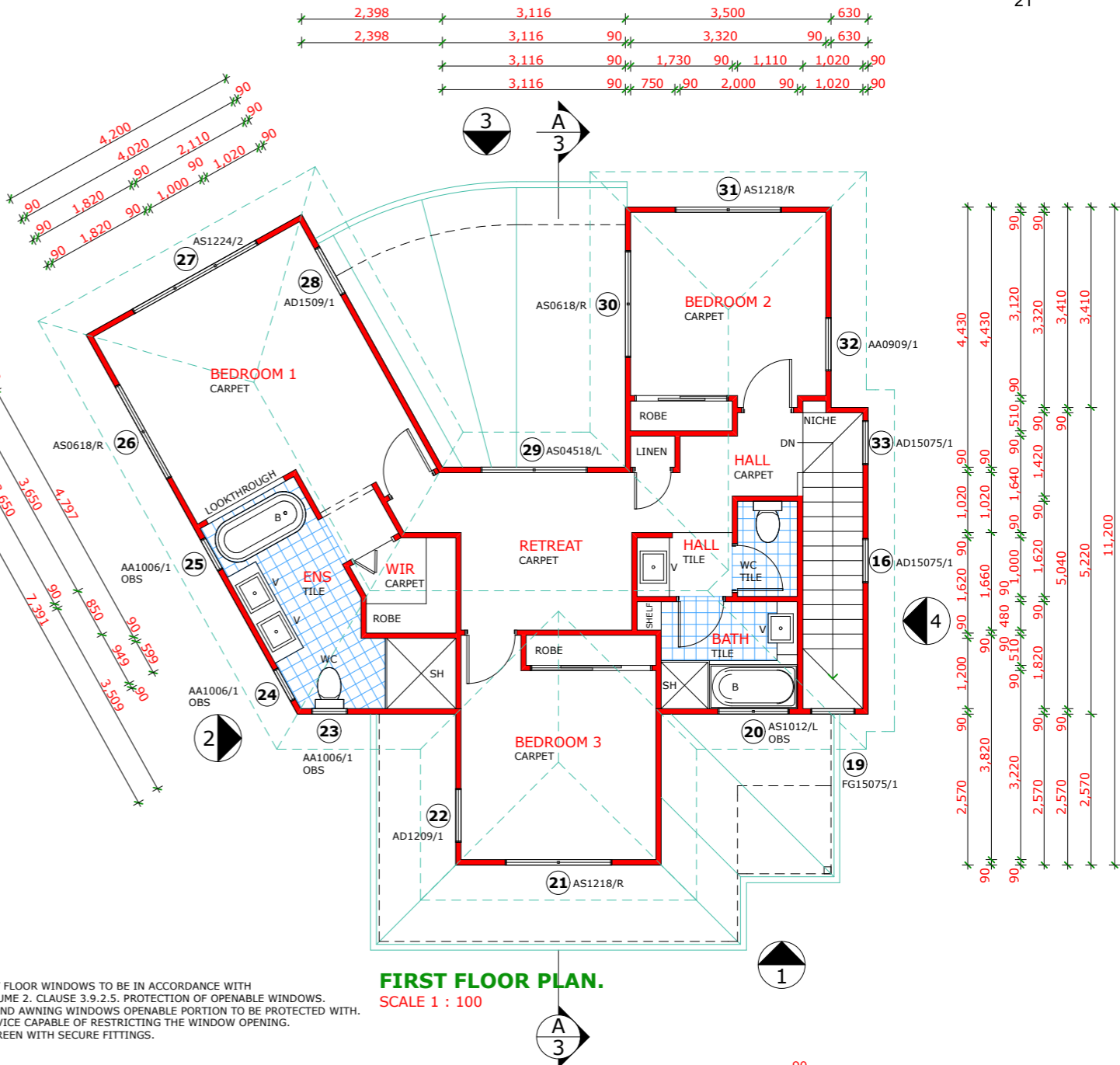
AREA SCHEDULE.
FLOOR SPACE RATIO.

MEASURED TO THE INSIDE FACE OF THE EXTERNAL WALLS. NOT INCLUDING CARPARKING REQUIREMENTS, AREA FOR VERTICAL CIRCULATION. (STAIRS). TERRACES & BALCONIES WITH OUTER WALLS LESS THAN 1.4 METRES HIGH.	
GROUND FLOOR LIVING	67.4m2
FIRST FLOOR LIVING	76.9m2
TOTAL AREA	144.3m2

DWELLING 3
FLOOR PLANS

SCALE 1 : 100

NOTE.
ALL FIRST FLOOR WINDOWS TO BE IN ACCORDANCE WITH
BCA. VOLUME 2. CLAUSE 3.9.2.5. PROTECTION OF OPENABLE WINDOWS.
LOUVRE AND AWNING WINDOWS OPENABLE PORTION TO BE PROTECTED WITH:
(A). A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENING.
(B). A SCREEN WITH SECURE FITTINGS.



DWELLING BASIX REQUIREMENTS.
REFER BASIX CERTIFICATE. NUMBER 1197070M FOR WATER,
THERMAL COMFORT & ENERGY REQUIREMENTS.
HOT WATER SYSTEM TO BE A SOLAR (ELECTRIC BOOSTED) SYSTEM.
PERFORMANCE OF 31 TO 35 STC'S OR BETTER.
THAT IS ELIGIBLE TO CREATE RENEWABLE ENERGY CERTIFICATES
UNDER RENEWABLE ENERGY REGULATIONS 2001.
(AMENDMENT REGULATIONS 2005 No 2).
ROOF INSULATION
PROVIDE 60MM REFLECTIVE FOIL BLANKET.
TO UNDERSIDE OF ROOF SHEETING THROUGHOUT.
MIN. R3.5 INSULATION TO CEILINGS
MIN. R2.0 INSULATION BETWEEN GARAGE & FLOOR ABOVE
MIN. R2.5 INSULATION OVER RAKED CEILINGS
EXTERNAL WALL INSULATION.
MIN R2.5 90MM BULK INSULATION TO ALL TIMBER FRAME EXTERNAL WALLS.
INTERNAL WALL INSULATION.
MIN R2.0 90MM BULK INSULATION BETWEEN GARAGE & LIVING AREAS.
ALL SHOWERHEADS TO HAVE A MINIMUM 3 STAR RATING.
(>7.5 but <=9 L/Min)
ALL TOILETS TO HAVE A MINIMUM 3 STAR RATING.
AND BE DUAL FLUSH.
SINK AND BASIN TAPS TO HAVE A MINIMUM 3 STAR RATING.
EXTERNAL COLOUR SCHEME
ROOF SHEETING. COLORBOND. MEDIUM COLOUR.
CEILING FANS TO A MINIMUM OF 1 LIVING AREA AND 1 BEDROOM
WINDOWS, DOORS TO BE IN ACCORDANCE WITH
THERMAL COMFORT COMMITMENTS. BASIX CERTIFICATE NUMBER 1197070M.

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

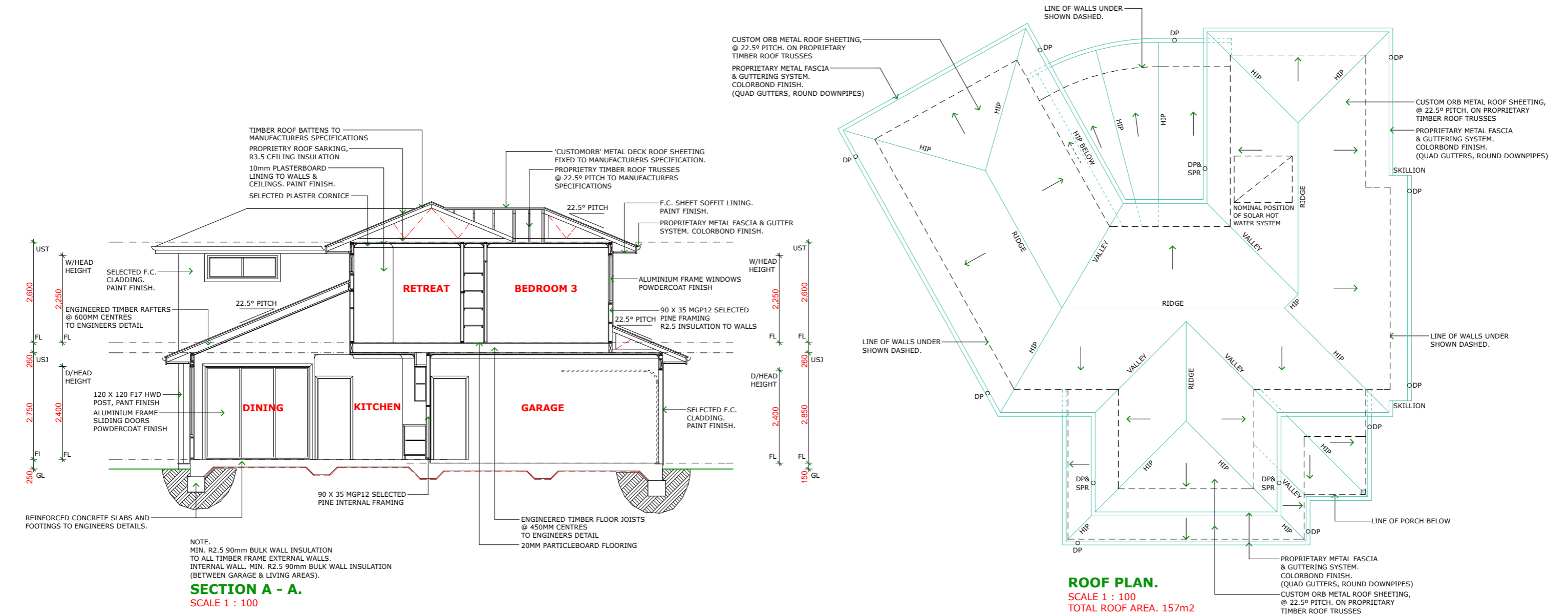
Design & Documentation by Douglas Cope. QBSA Licence No. 1037753 ABN. 86 86 11 73 484	
All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.	
DATE. APR, 21	DRAWING TITLE. FLOOR PLANS.
DRAWN. D.C.	PROJECT No. B1161 DWG No. D3/1
SCALE. 1 : 100	

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc

Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.

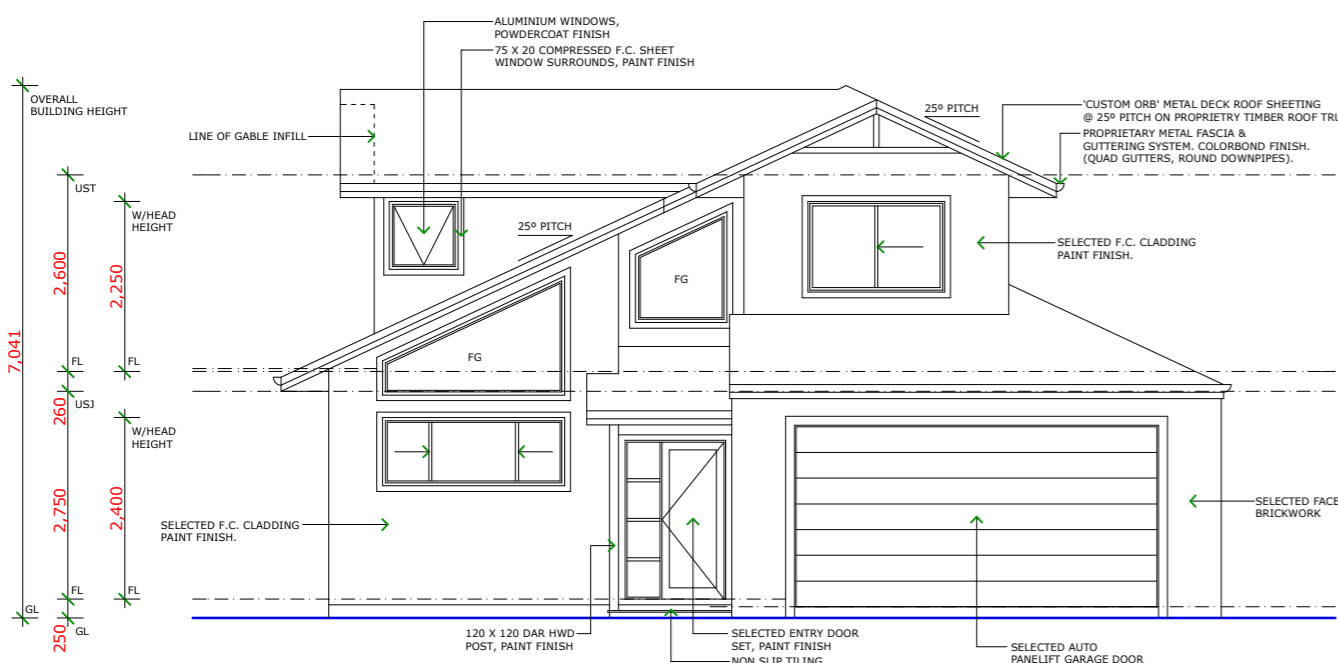


NOTE.
ALL DOWNPIPES TO BE CONNECTED TO
ON-SITE STORMWATER DRAINAGE SYSTEM.
REFER TO ENGINEERS DETAILS FOR NOMINAL LOCATIONS.

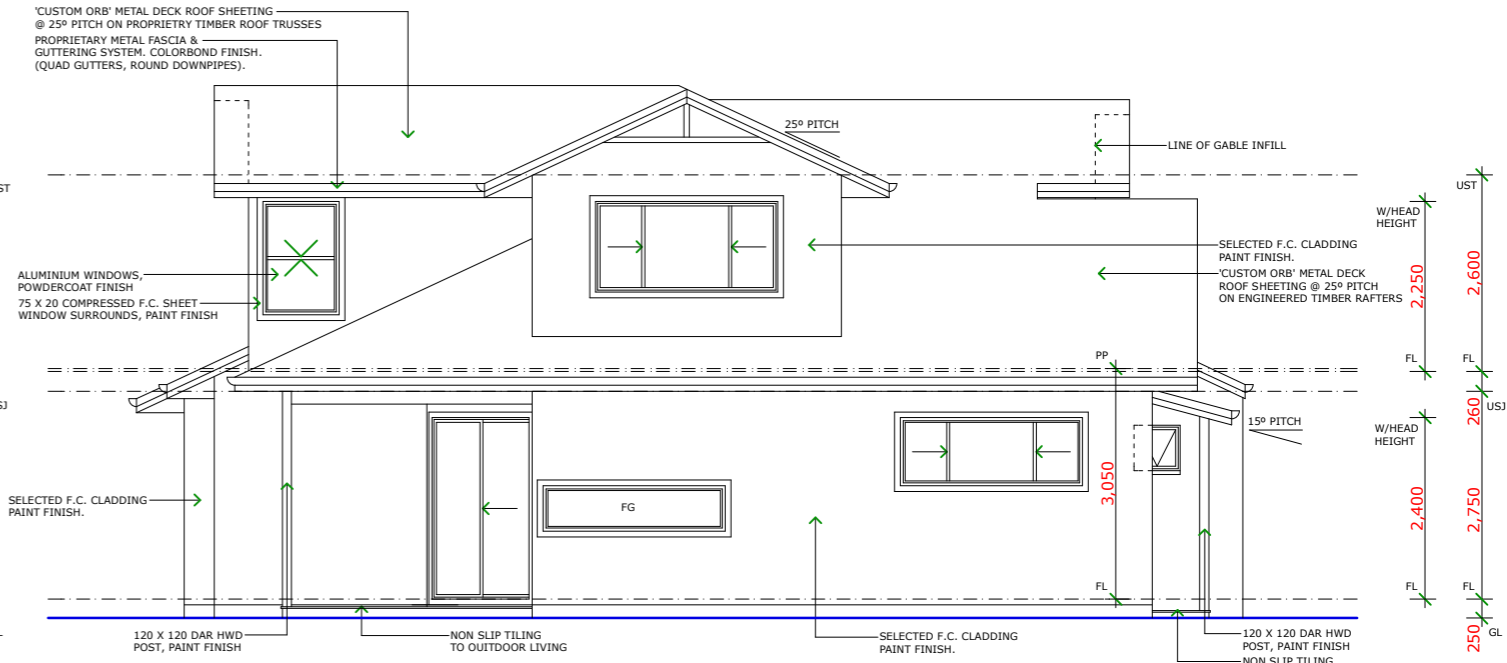
DWELLING 3
CONSTRUCTION SECTION, ROOF PLAN

SCALE 1 : 100

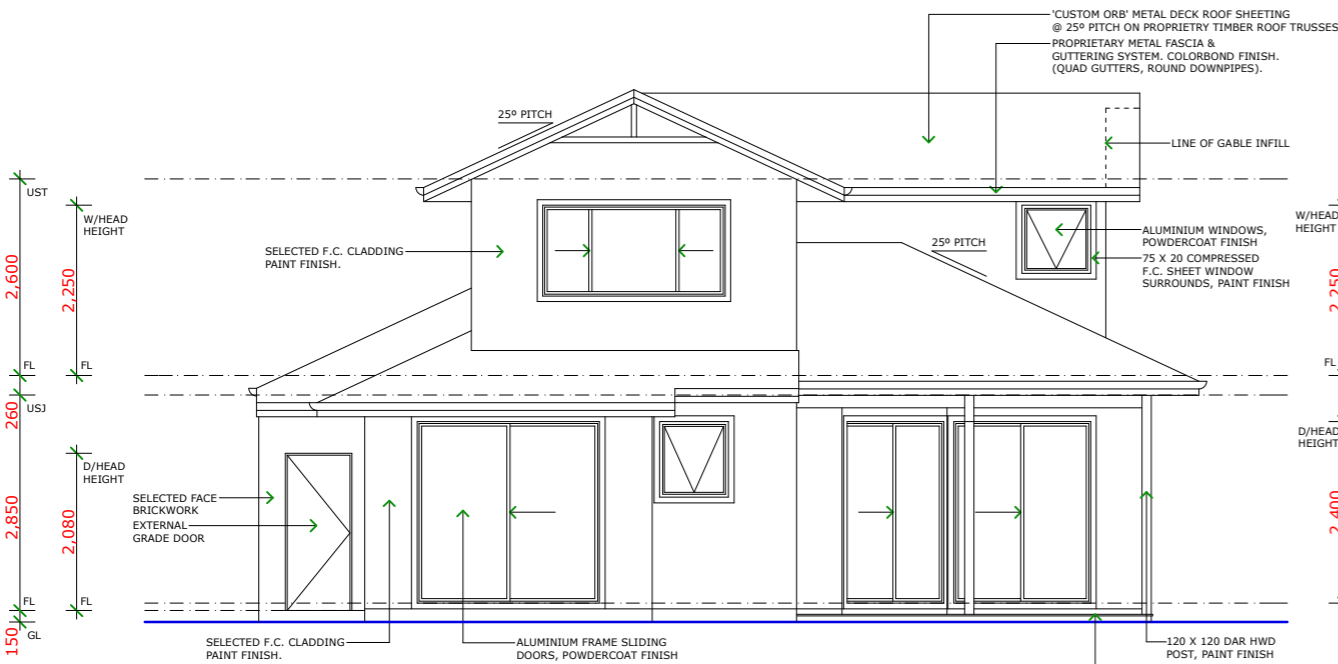
AMENDMENTS.				PROJECT. PROPOSED NEW UNIT DEVELOPMENT. AT. Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW. FOR. Mr J. & Mrs G. Mills.	<div><div>Design & Documentation by Douglas Cope. QBSA Licence No. 1037753 ABN. 86 86 11 73 484</div><div>All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.</div><div><div>DATE. APR, 21 DRAWN. D.C. SCALE. 1 : 100</div><div>DRAWING TITLE. CONST. SECTION, ROOF PLAN. PROJECT No. B1161 DWG No. D3/3 A</div></div><div><div>49 Kingsley Lane Byron Bay NSW 2481</div><div>Ppdc Mob. 0401 000126 Email doug@ppdc.com.au</div><div>prestige properties design & construction Development Consultants/Architectural Designers RAIA 25222, QBSA Licence No. 1037753.</div></div></div>
AMEND.	DATE.	INT.	DESCRIPTION.		
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.		



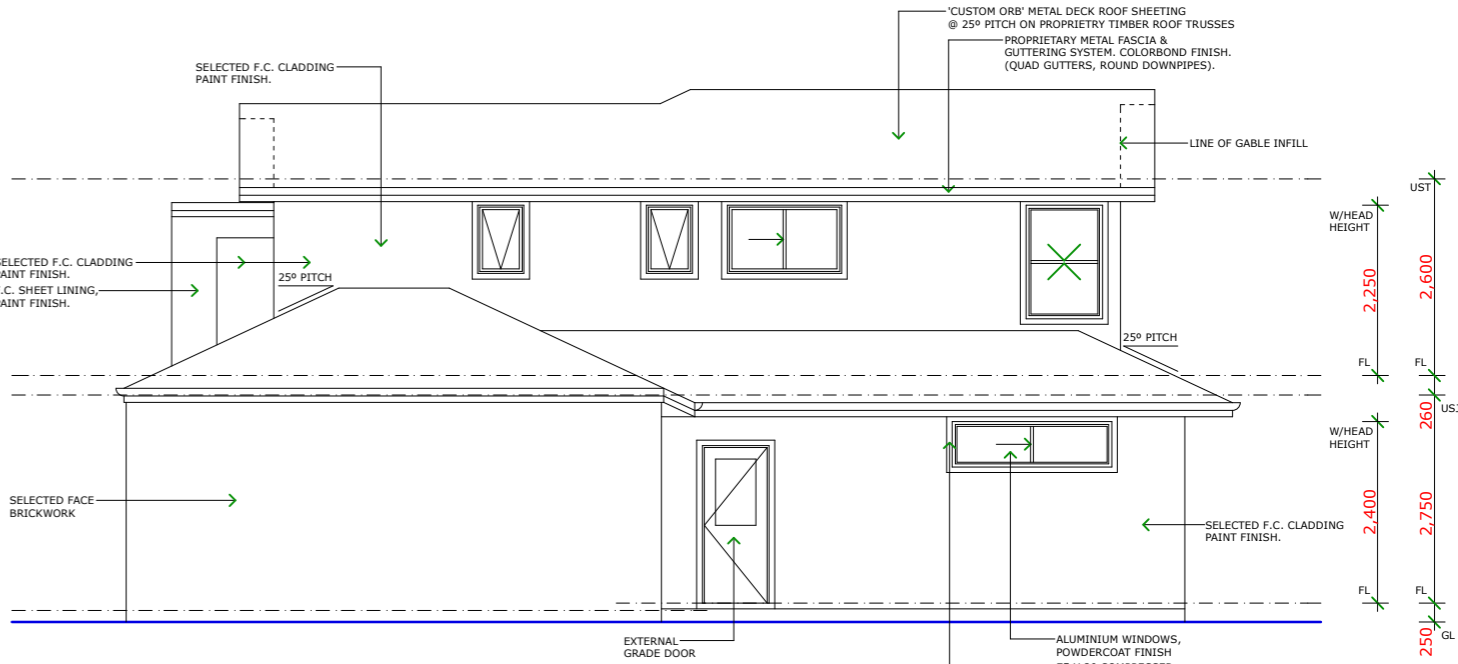
ELEVATION 1. WEST.
SCALE 1 : 100



ELEVATION 2. NORTH.
SCALE 1 : 100



ELEVATION 3. EAST.
SCALE 1 : 100



ELEVATION 4. SOUTH.
SCALE 1 : 100

DWELLING 4
ELEVATIONS

SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

Design & Documentation by Douglas Cope. QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

DATE. APR, 21
DRAWN. D.C.
SCALE. 1 : 100

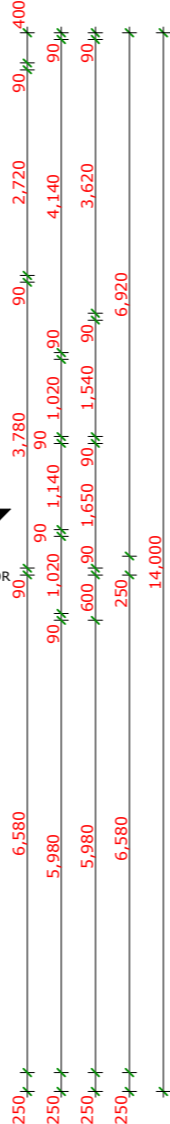
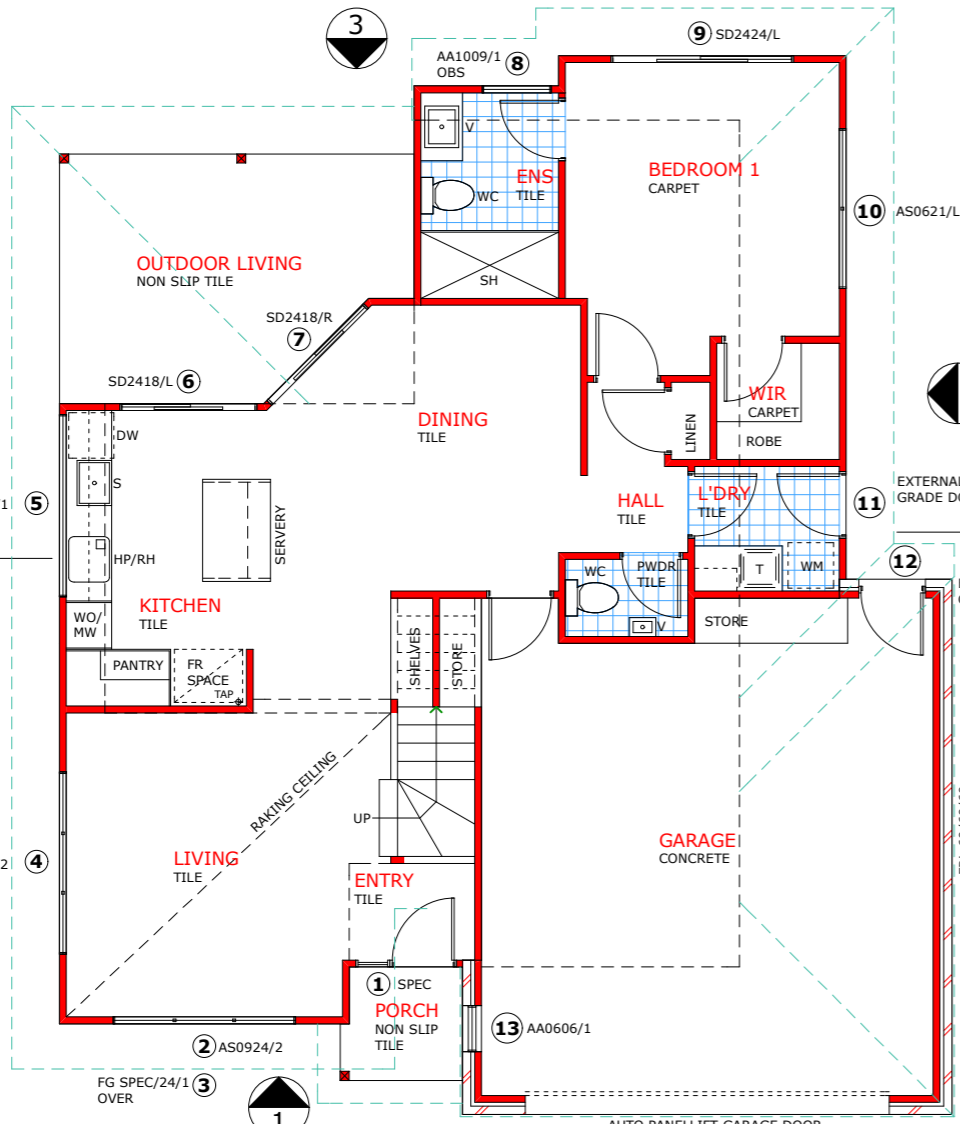
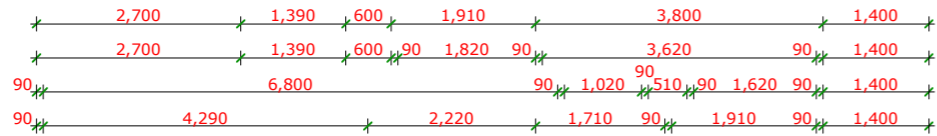
DRAWING TITLE. **ELEVATIONS.**
PROJECT No. **B1161** DWG No. **D4/2**

49 Kingsley Lane
Byron Bay NSW 2481

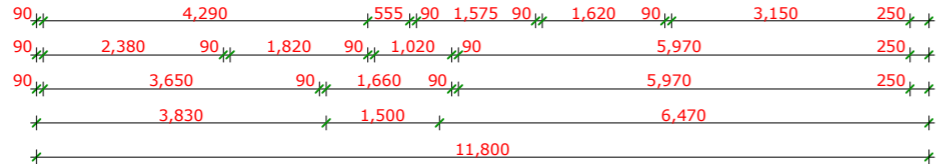
Ppdc

Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222, QBSA Licence No. 1037753.



GROUND FLOOR PLAN.
SCALE 1 : 100



AREA SCHEDULE.
FLOOR SPACE RATIO.

MEASURED TO THE INSIDE FACE OF THE EXTERNAL WALLS. NOT INCLUDING CARPARKING REQUIREMENTS, AREA FOR VERTICAL CIRCULATION. (STAIRS). TERRACES & BALCONIES WITH OUTER WALLS LESS THAN 1.4 METRES HIGH.	
GROUND FLOOR LIVING	82.0m2
FIRST FLOOR LIVING	57.2m2
TOTAL AREA	139.2m2

AREA SCHEDULE

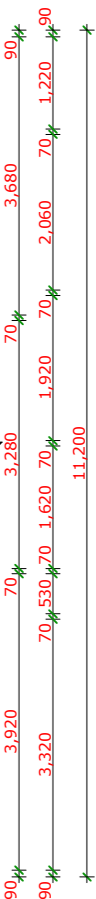
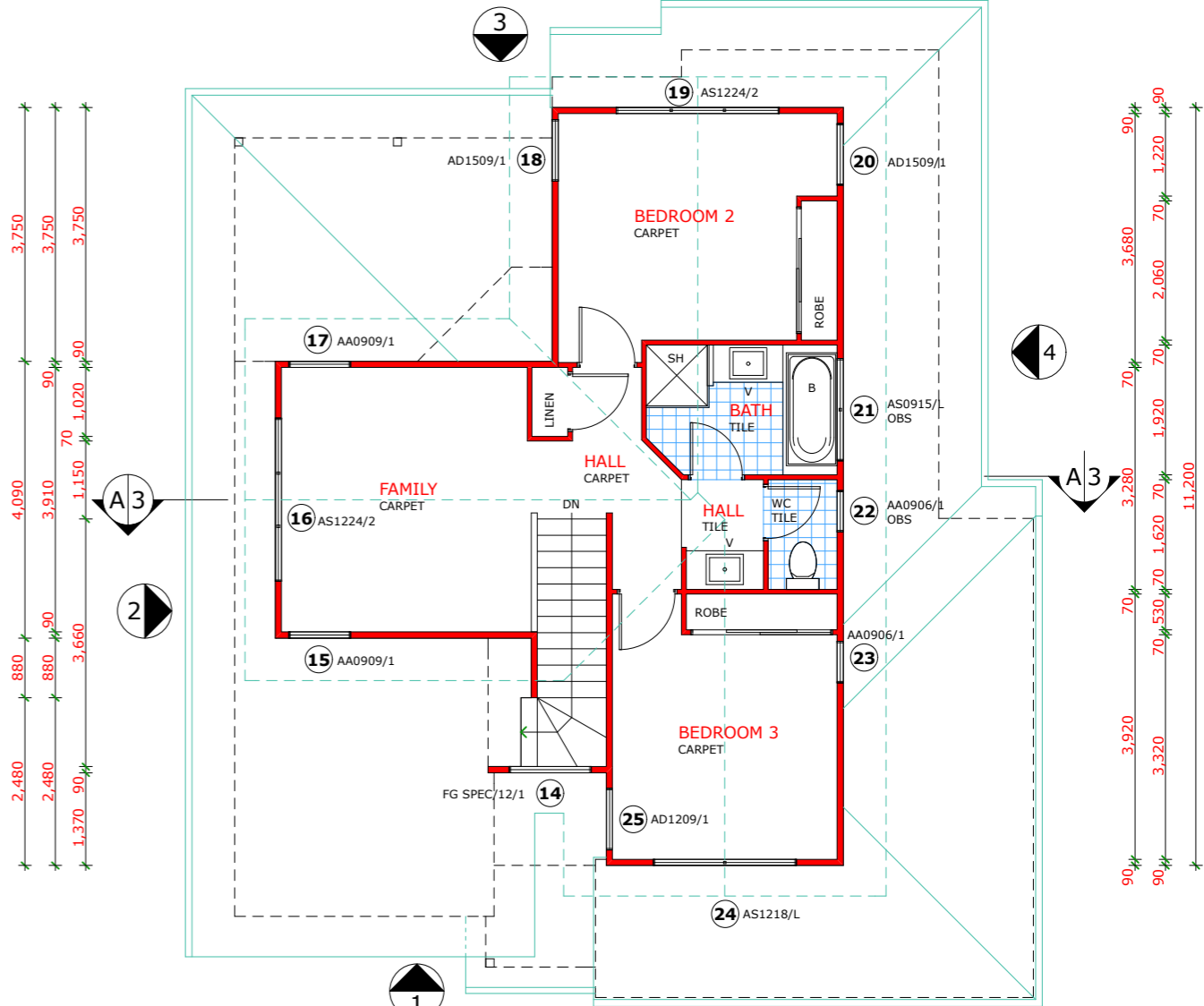
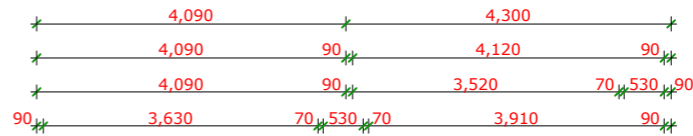
GROUND FLOOR LIVING	85.2m2
GARAGE	42.3
PORCH	2.3
OUTDOOR LIVING	13.7
FIRST FLOOR LIVING	64.4m2

TOTAL AREA 207.9m2

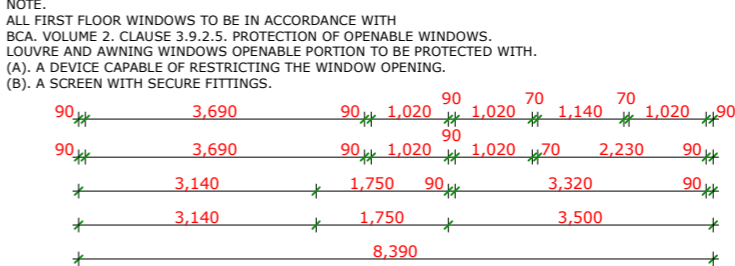
DWELLING 4
FLOOR PLANS

SCALE 1 : 100

DWELLING BASIX REQUIREMENTS.
REFER BASIX CERTIFICATE. NUMBER 1197070M FOR WATER, THERMAL COMFORT & ENERGY REQUIREMENTS.
HOT WATER SYSTEM TO BE A SOLAR (ELECTRIC BOOSTED) SYSTEM. PERFORMANCE OF 31 TO 35 STC'S OR BETTER.
THAT IS ELIGIBLE TO CREATE RENEWABLE ENERGY CERTIFICATES UNDER RENEWABLE ENERGY REGULATIONS 2001.
(AMENDMENT REGULATIONS 2005 No 2).
ROOF INSULATION
PROVIDE 60MM REFLECTIVE FOIL BLANKET. TO UNDERSIDE OF ROOF SHEETING THROUGHOUT.
MIN. R3.5 INSULATION TO CEILINGS
MIN. R2.0 INSULATION BETWEEN GARAGE & FLOOR ABOVE
MIN. R2.5 INSULATION OVER RAKING CEILINGS
EXTERNAL WALL INSULATION.
MIN R2.5 90MM BULK INSULATION TO ALL TIMBER FRAME EXTERNAL WALLS.
INTERNAL WALL INSULATION.
MIN R2.0 90MM BULK INSULATION BETWEEN GARAGE & LIVING AREAS.
ALL SHOWERHEADS TO HAVE A MINIMUM 3 STAR RATING.
(>7.5 but <=9 L/Min)
ALL TOILETS TO HAVE A MINIMUM 3 STAR RATING.
AND BE DUAL FLUSH.
SINK AND BASIN TAPS TO HAVE A MINIMUM 3 STAR RATING.
EXTERNAL COLOUR SCHEME
ROOF SHEETING. COLORBOND. MEDIUM COLOUR.
CEILING FANS TO A MINIMUM OF 1 LIVING AREA AND 1 BEDROOM
WINDOWS, DOORS TO BE IN ACCORDANCE WITH THERMAL COMFORT COMMITMENTS. BASIX CERTIFICATE NUMBER 1197070M.



FIRST FLOOR PLAN.
SCALE 1 : 100



AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

Design & Documentation by Douglas Cope. QBSA Licence No. 1037753
ABN. 86 86 11 73 484

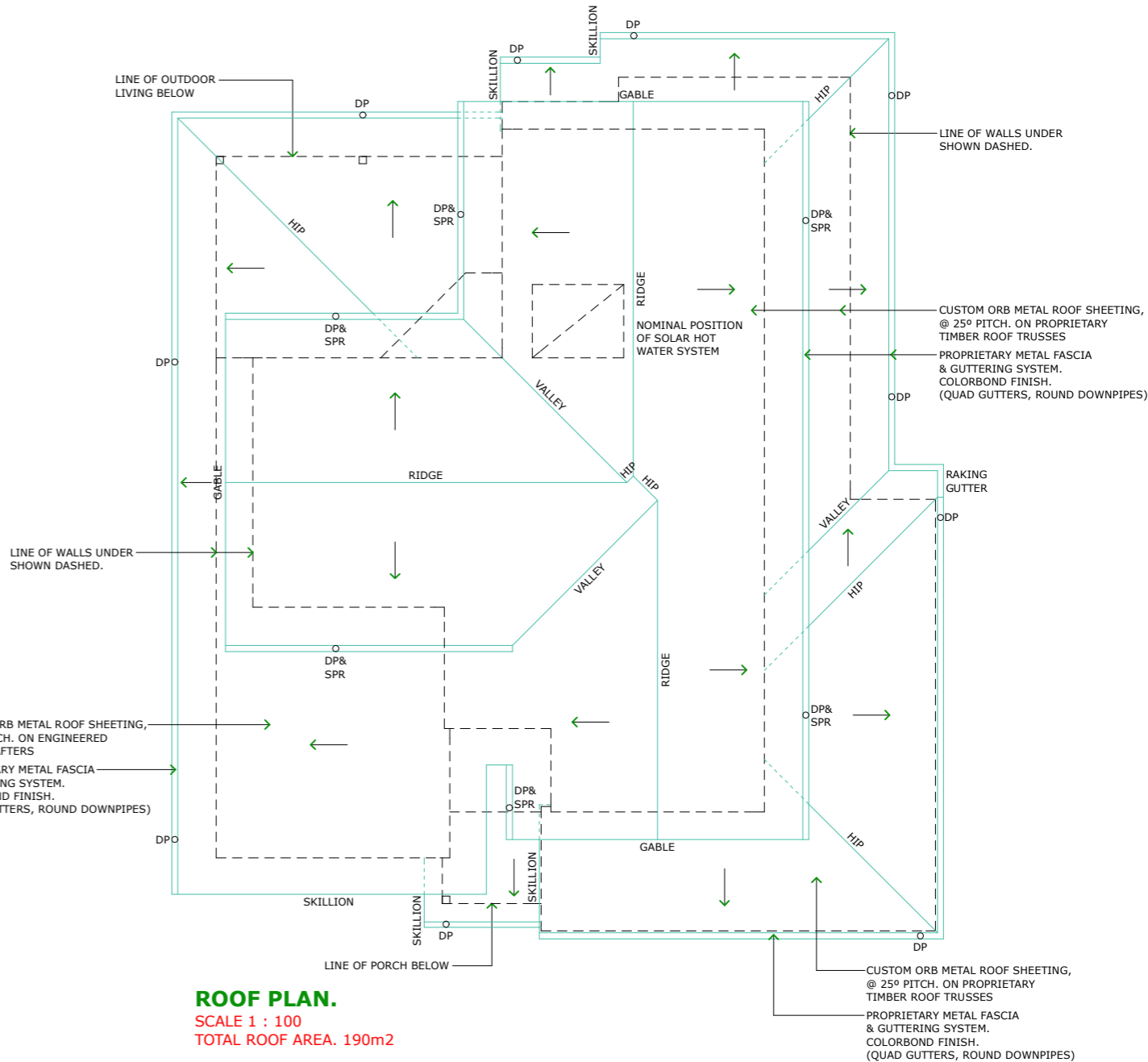
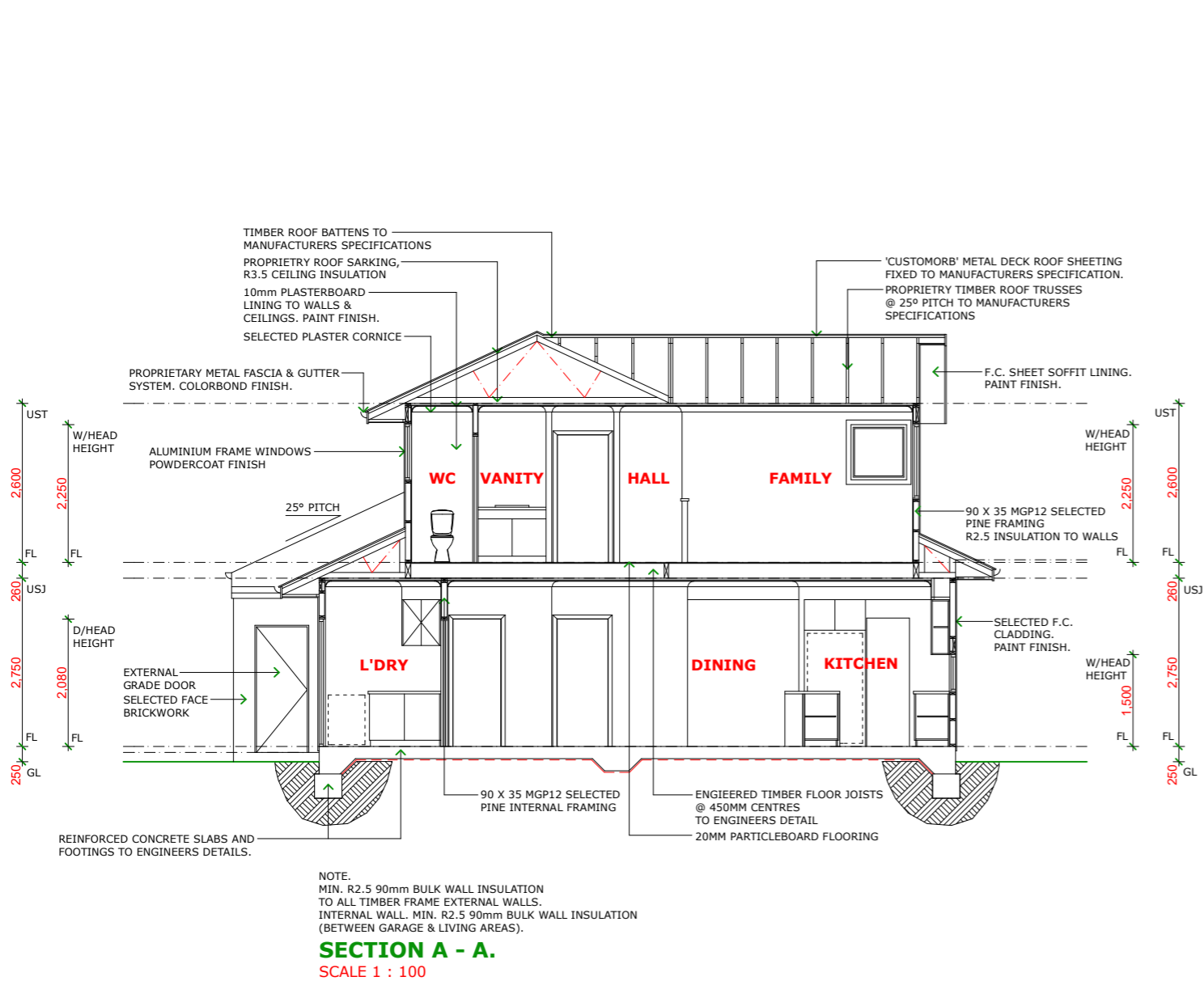
At building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

DATE. APR, 21
DRAWN. D.C.
SCALE. 1 : 100

DRAWING TITLE. **FLOOR PLANS.**
PROJECT No. **B1161** DWG No. **D4/1 A**

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222, QBSA Licence No. 1037753.

Ppdc
49 Kingsley Lane
Byron Bay NSW 2481
Mob. 0401 000126
Email doug@ppdc.com.au



NOTE.
ALL DOWNPIPES TO BE CONNECTED TO
ON-SITE STORMWATER DRAINAGE SYSTEM.
REFER TO ENGINEERS DETAILS FOR NOMINAL LOCATIONS.

DWELLING 4

CONSTRUCTION SECTION, ROOF PLAN

SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

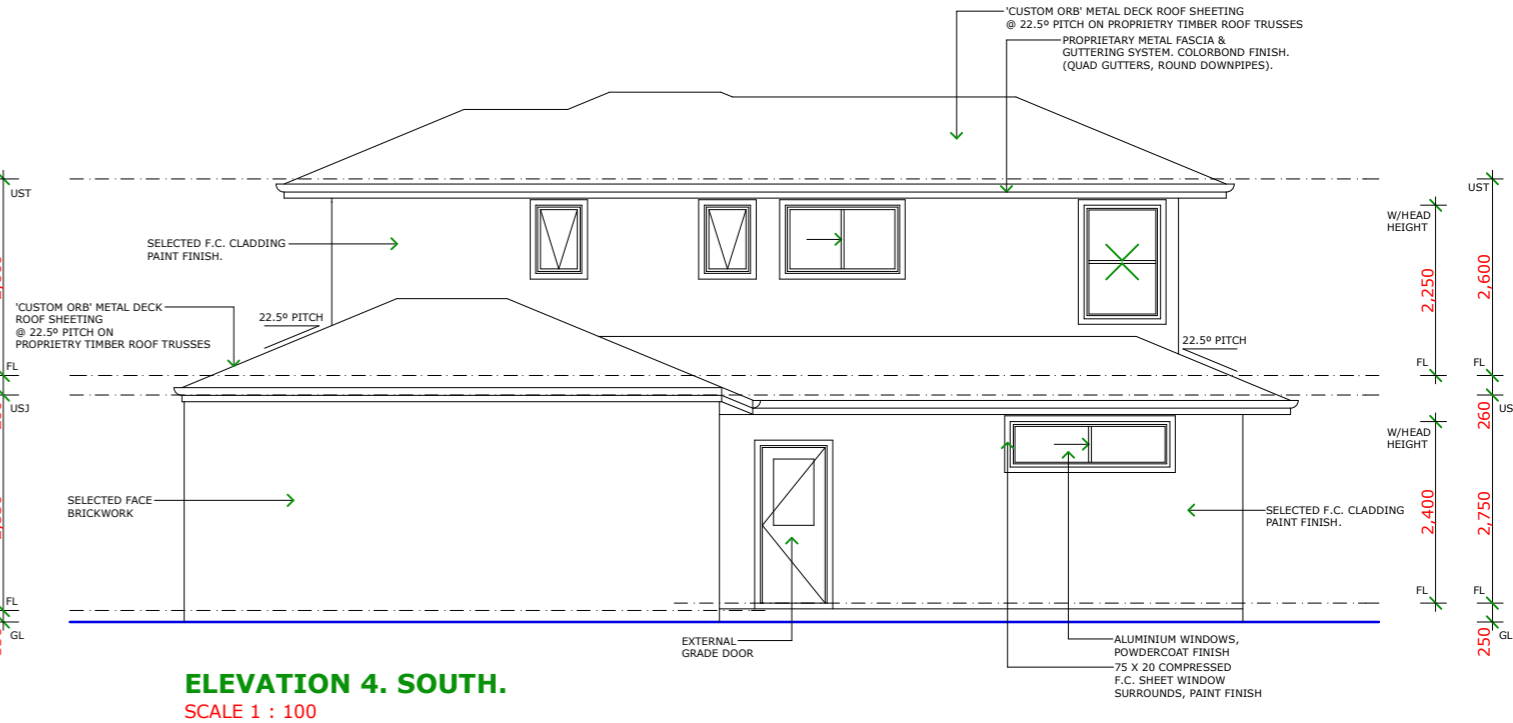
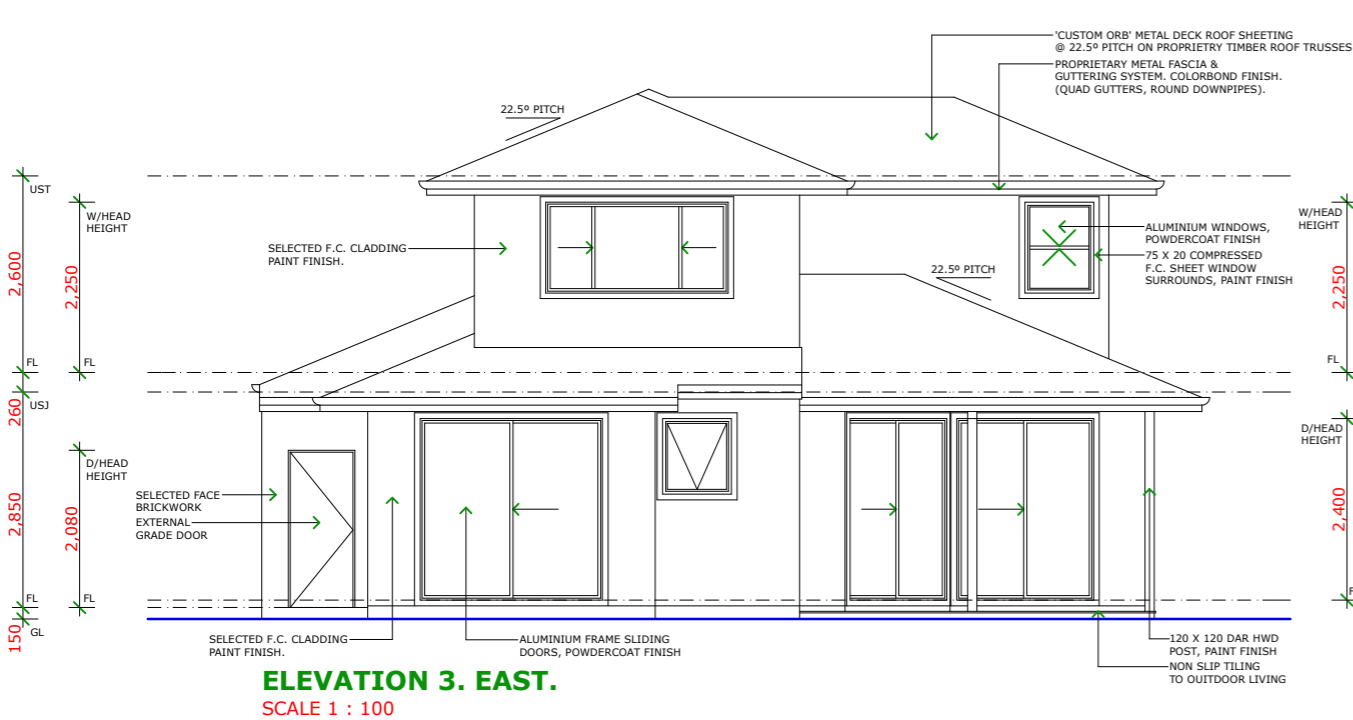
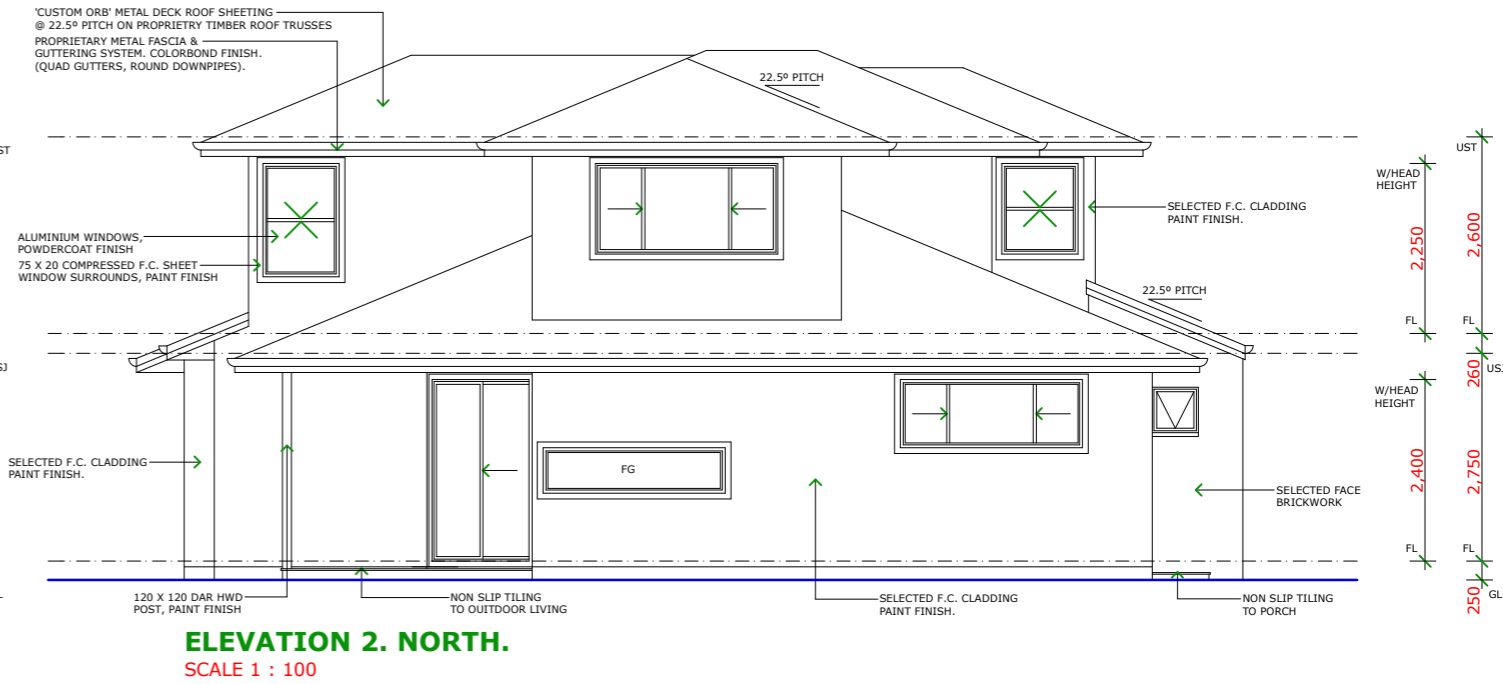
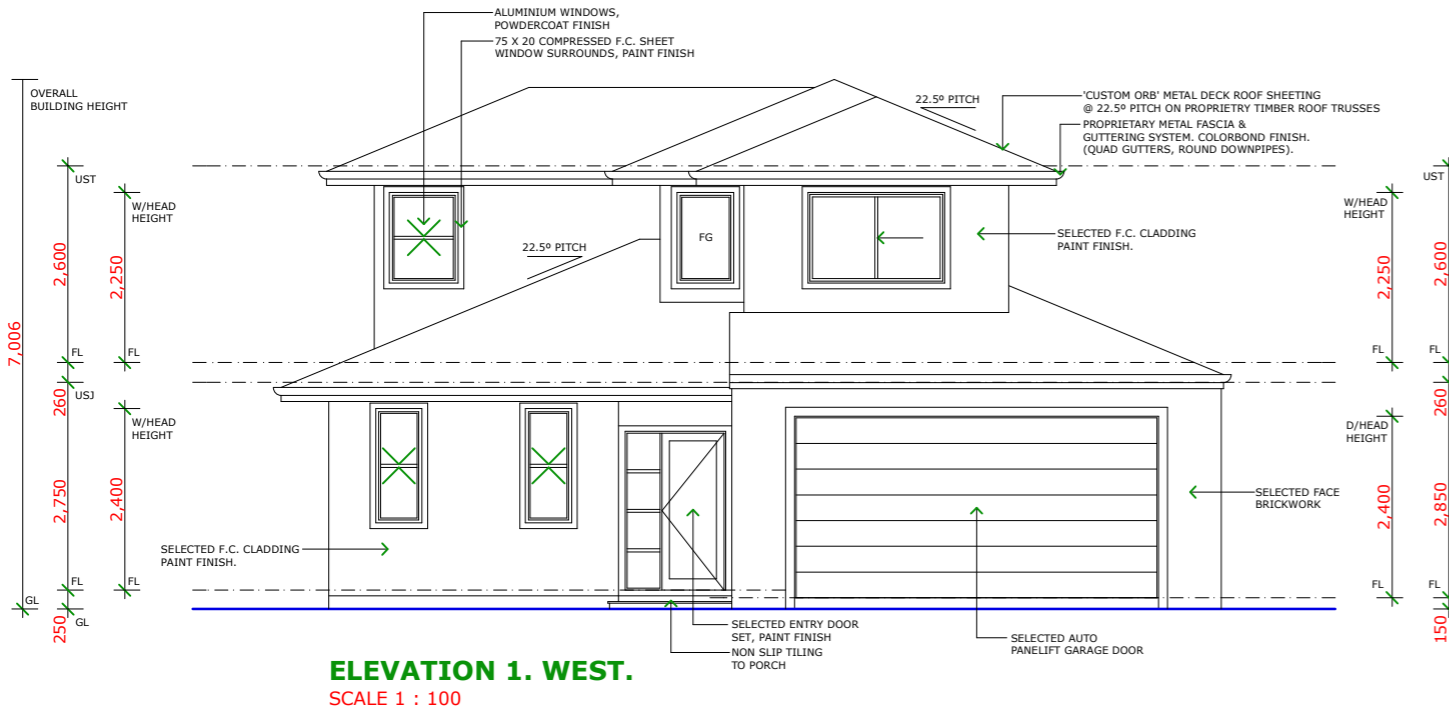
Design & Documentation by Douglas Cope.
QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

DATE. APR, 21	DRAWING TITLE. CONST. SECTION, ROOF PLAN.
DRAWN. D.C.	PROJECT No. B1161 DWG No. D4/3 A
SCALE. 1 : 100	

ppdc
49 Kingsley Lane
Byron Bay NSW 2481
Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222, QBSA Licence No. 1037753.



DWELLING 5
ELEVATIONS
SCALE 1:100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

Design & Documentation by Douglas Cope. QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

DATE. APR, 21
DRAWN. D.C.
SCALE. 1 : 100

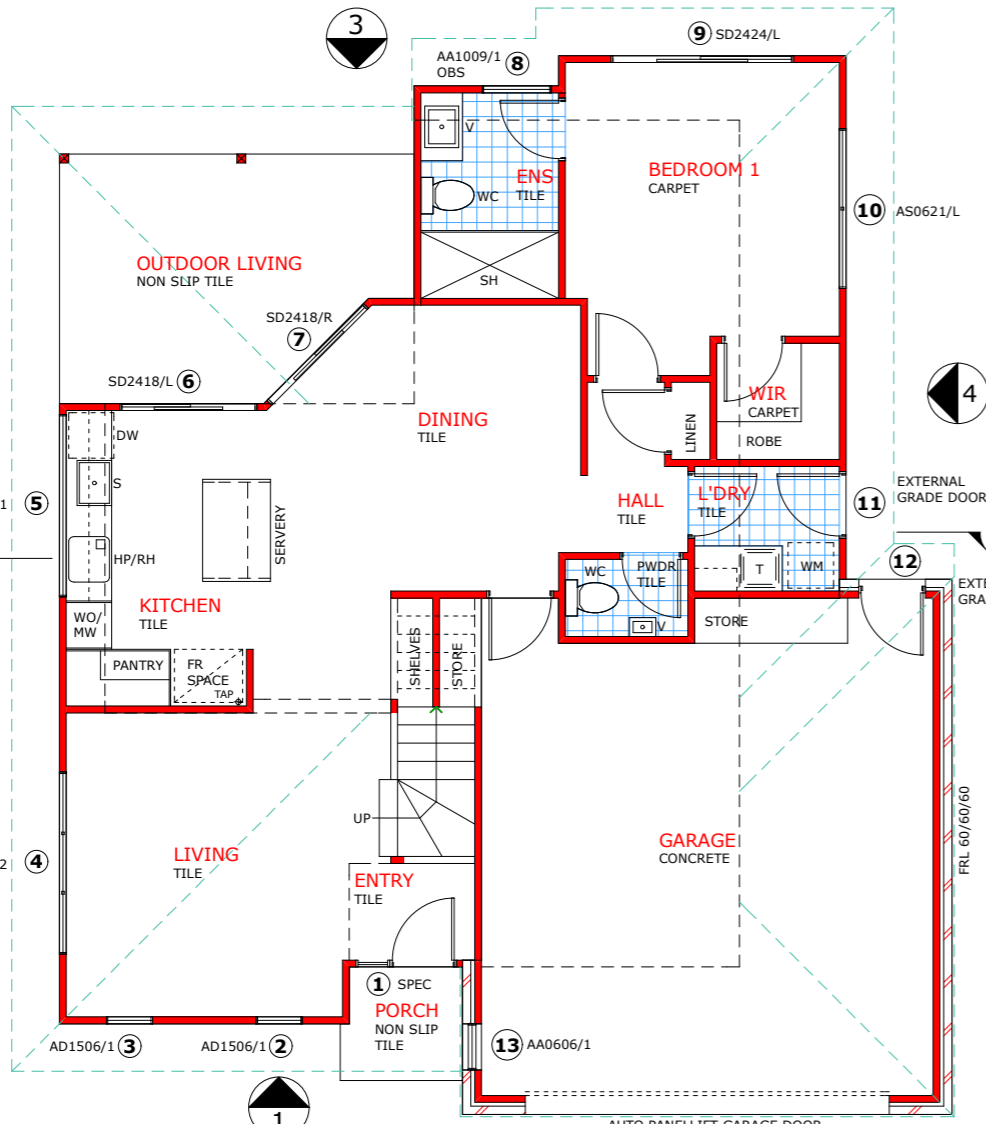
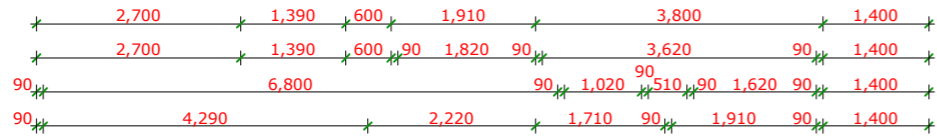
DRAWING TITLE. **ELEVATIONS.**
PROJECT No. **B1161** DWG No. **D5/2** A

49 Kingsley Lane
Byron Bay NSW 2481

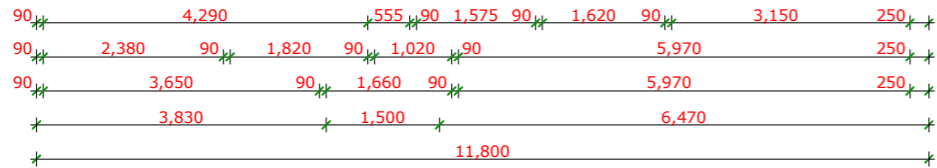
Ppdc

Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.



GROUND FLOOR PLAN.
SCALE 1 : 100



AREA SCHEDULE

GROUND FLOOR LIVING	85.2m2
GARAGE	42.3
PORCH	2.3
OUTDOOR LIVING	13.7
FIRST FLOOR LIVING	64.4m2

TOTAL AREA 207.9m2

AREA SCHEDULE.
FLOOR SPACE RATIO.

MEASURED TO THE INSIDE
FACE OF THE EXTERNAL WALLS.
NOT INCLUDING CARPARKING REQUIREMENTS,
AREA FOR VERTICAL CIRCULATION. (STAIRS).
TERRACES & BALCONIES WITH OUTER
WALLS LESS THAN 1.4 METRES HIGH.
GROUND FLOOR LIVING 82.0m2
FIRST FLOOR LIVING 57.2m2

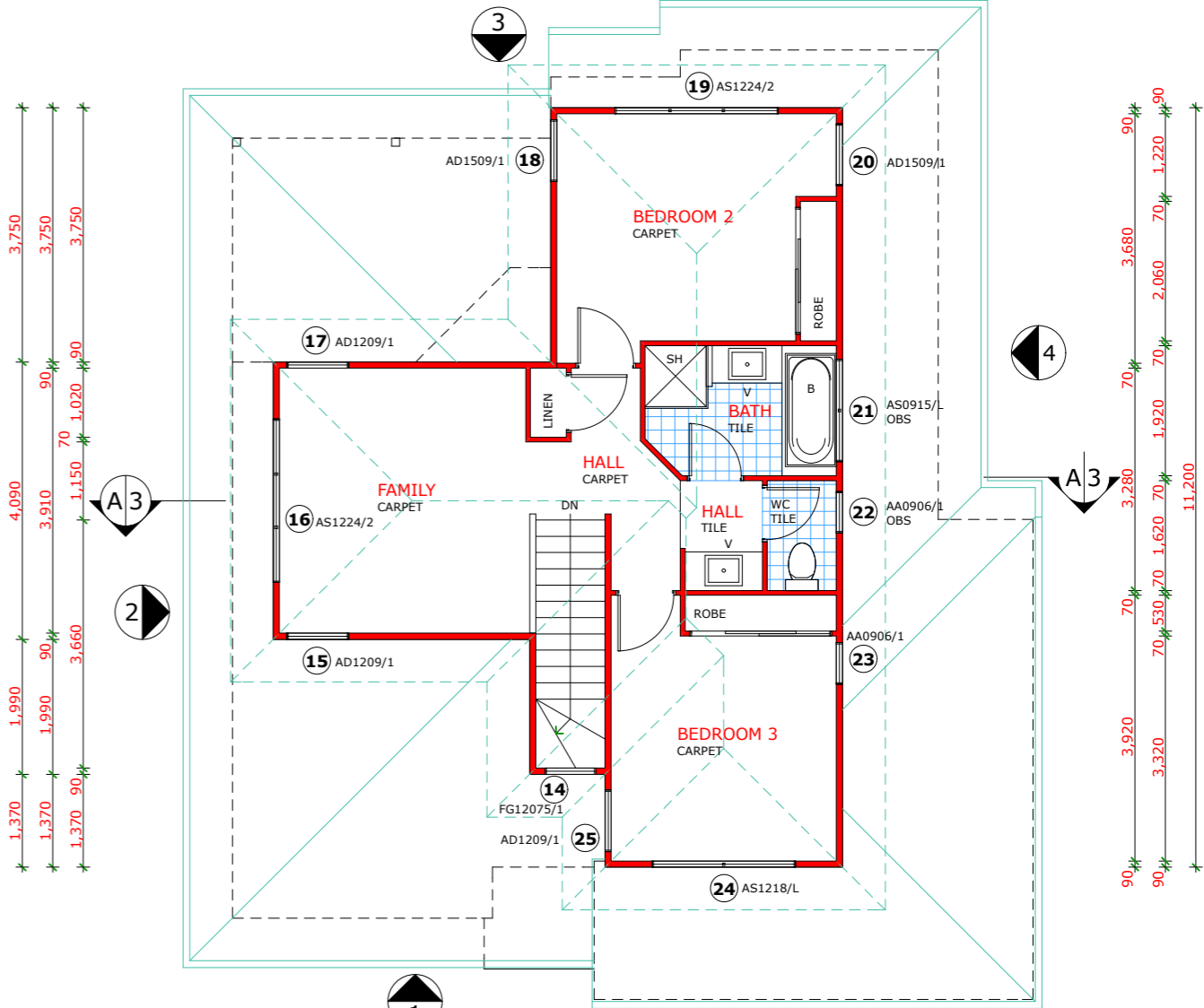
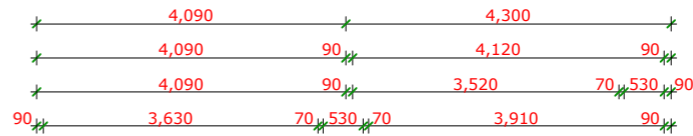
TOTAL AREA 139.2m2

DWELLING 5
FLOOR PLANS

SCALE 1 : 100

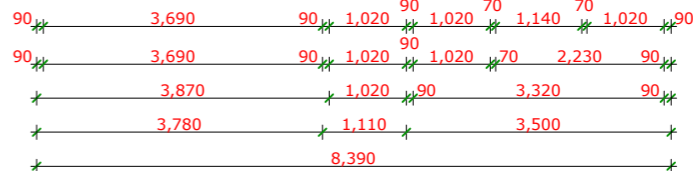


DWELLING BASIX REQUIREMENTS.
REFER BASIX CERTIFICATE. NUMBER 1197070M FOR WATER,
THERMAL COMFORT & ENERGY REQUIREMENTS.
HOT WATER SYSTEM TO BE A SOLAR (ELECTRIC BOOSTED) SYSTEM.
PERFORMANCE OF 31 TO 35 STC'S OR BETTER.
THAT IS ELIGIBLE TO CREATE RENEWABLE ENERGY CERTIFICATES
UNDER RENEWABLE ENERGY REGULATIONS 2001.
(AMENDMENT REGULATIONS 2005 No 2).
ROOF INSULATION
PROVIDE 60MM REFLECTIVE FOIL BLANKET.
TO UNDERSIDE OF ROOF SHEETING THROUGHOUT.
MIN. R3.5 INSULATION TO CEILINGS
MIN. R2.0 INSULATION BETWEEN GARAGE & FLOOR ABOVE
EXTERNAL WALL INSULATION.
MIN R2.5 90MM BULK INSULATION TO ALL TIMBER FRAME EXTERNAL WALLS.
INTERNAL WALL INSULATION.
MIN R2.0 90MM BULK INSULATION BETWEEN GARAGE & LIVING AREAS.
ALL SHOWERHEADS TO HAVE A MINIMUM 3 STAR RATING.
(>7.5 but <=9 L/Min)
ALL TOILETS TO HAVE A MINIMUM 3 STAR RATING.
AND BE DUAL FLUSH.
SINK AND BASIN TAPS TO HAVE A MINIMUM 3 STAR RATING.
EXTERNAL COLOUR SCHEME
ROOF SHEETING. COLORBOND. MEDIUM COLOUR.
CEILING FANS TO A MINIMUM OF 1 LIVING AREA AND 1 BEDROOM
WINDOWS, DOORS TO BE IN ACCORDANCE WITH
THERMAL COMFORT COMMITMENTS. BASIX CERTIFICATE NUMBER 1197070M.



FIRST FLOOR PLAN.
SCALE 1 : 100

NOTE.
ALL FIRST FLOOR WINDOWS TO BE IN ACCORDANCE WITH
BCA. VOLUME 2. CLAUSE 3.9.2.5. PROTECTION OF OPENABLE WINDOWS.
LOUVRE AND AWNING WINDOWS OPENABLE PORTION TO BE PROTECTED WITH.
(A). A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENING.
(B). A SCREEN WITH SECURE FITTINGS.



AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

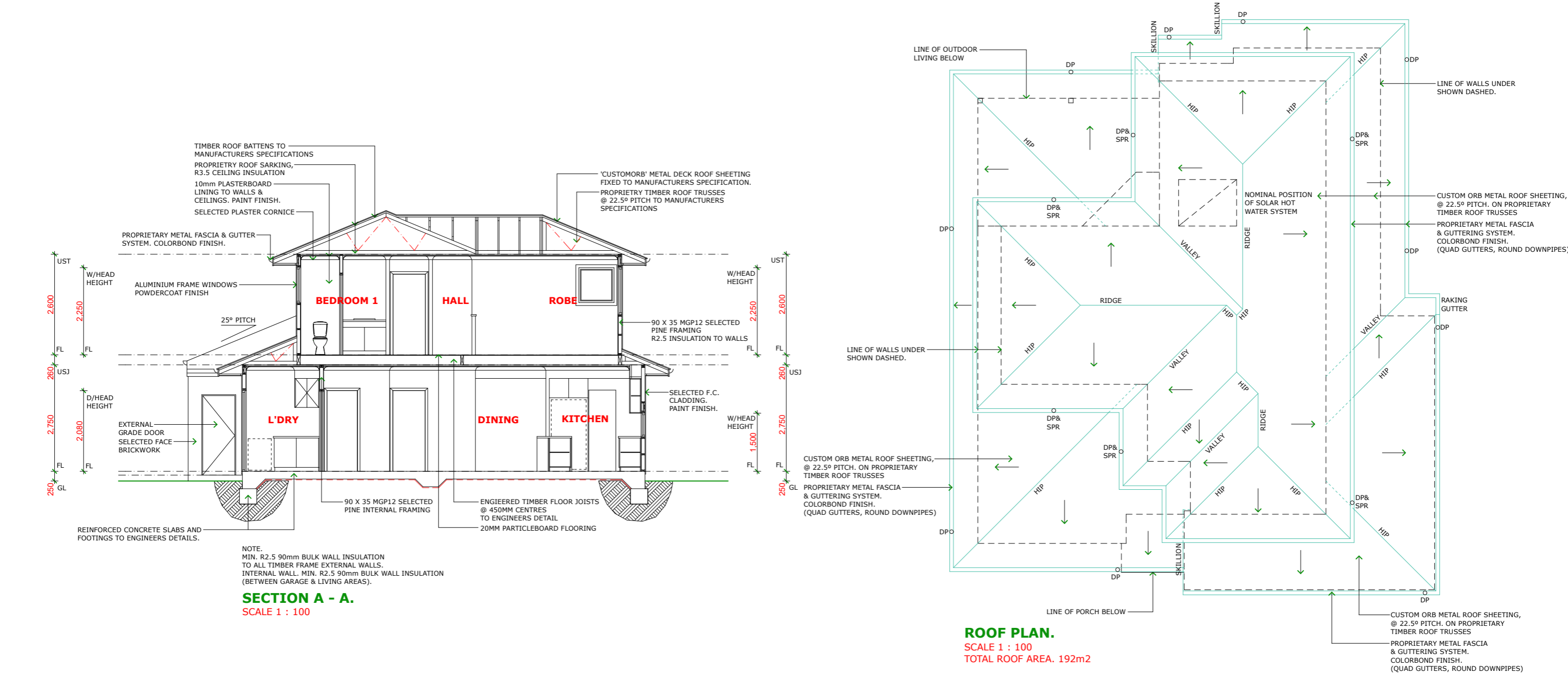
Design & Documentation by Douglas Cope. QBSA Licence No. 1037753 ABN. 86 86 11 73 484	
All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.	
DATE. APR, 21	DRAWING TITLE. FLOOR PLANS.
DRAWN. D.C.	PROJECT No. B1161 DWG No. D5/1 A
SCALE. 1 : 100	

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc

Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.

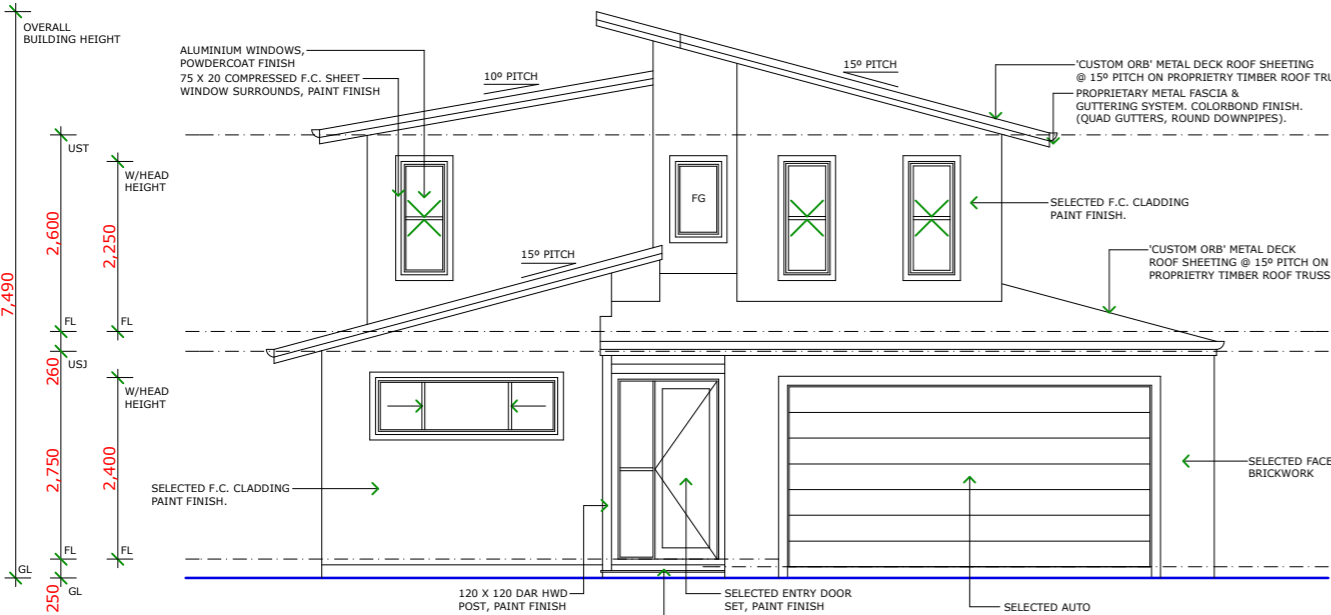


NOTE.
ALL DOWNPIPES TO BE CONNECTED TO
ON-SITE STORMWATER DRAINAGE SYSTEM.
REFER TO ENGINEERS DETAILS FOR NOMINAL LOCATIONS.

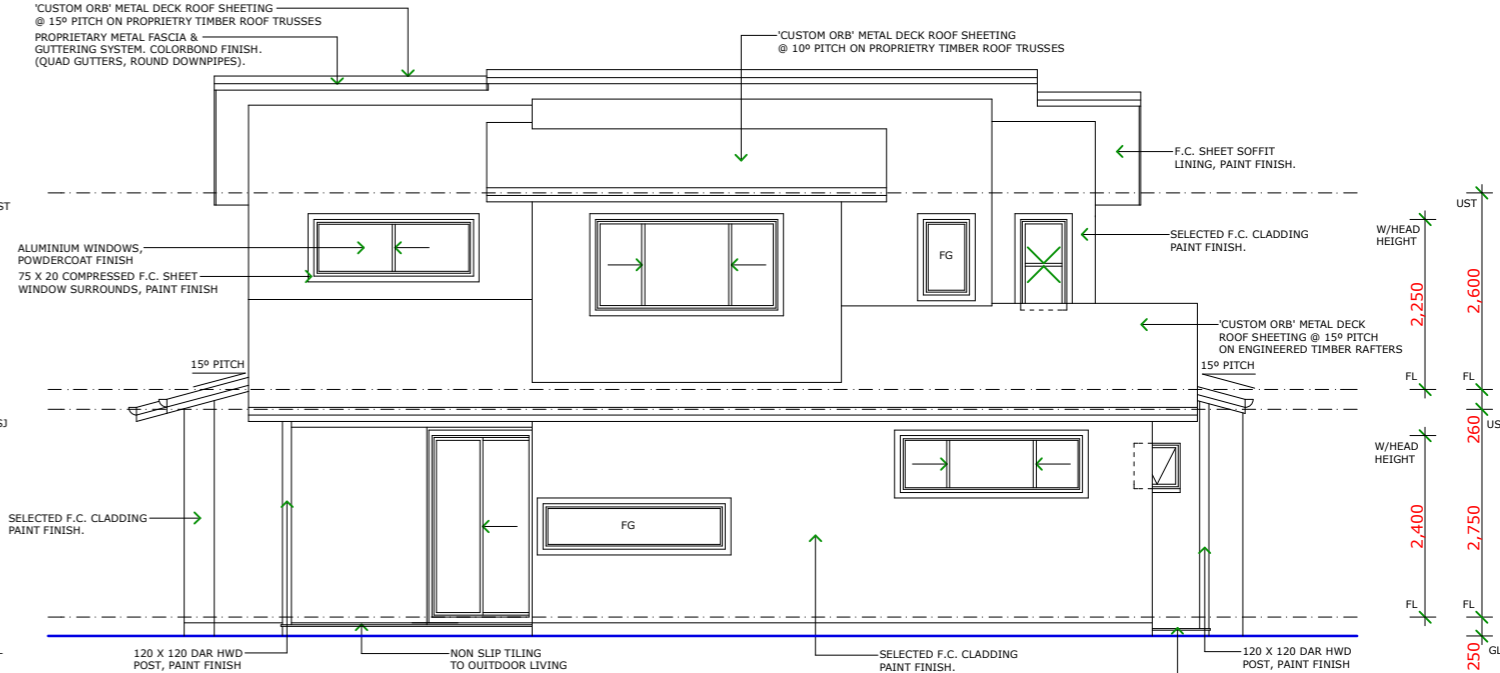
DWELLING 5
CONSTRUCTION SECTION, ROOF PLAN

SCALE 1 : 100

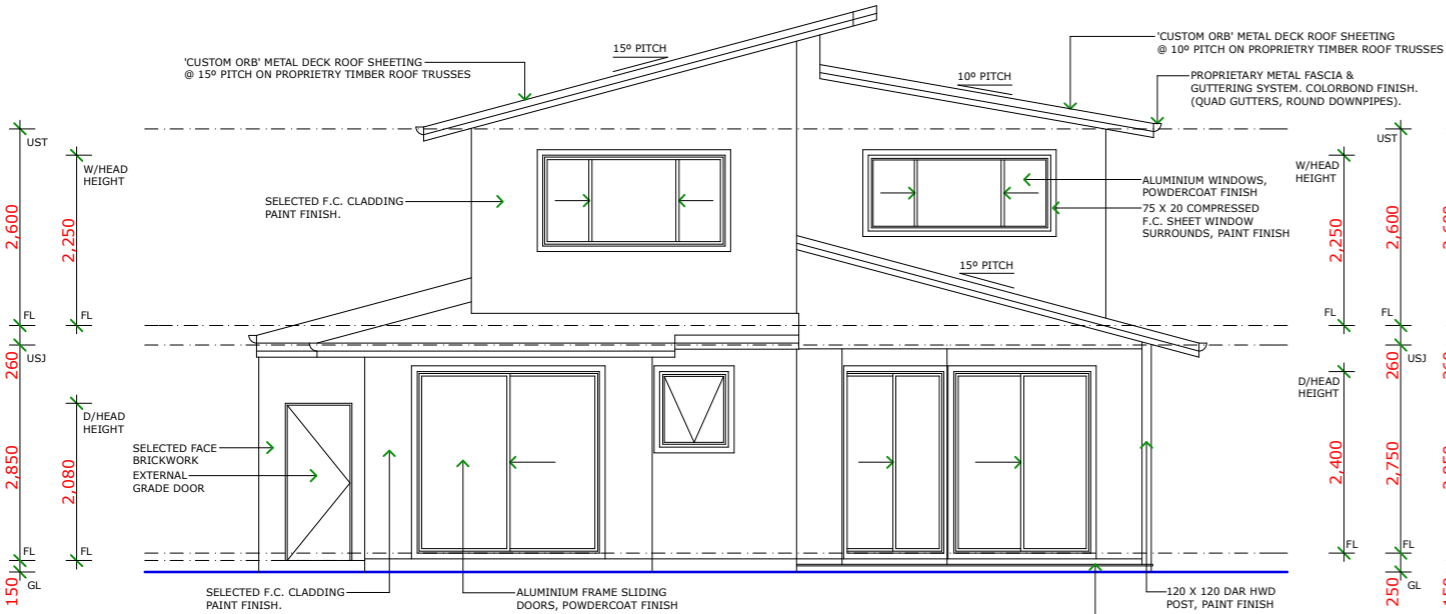
AMENDMENTS.				PROJECT. PROPOSED NEW UNIT DEVELOPMENT. AT. Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW. FOR. Mr J. & Mrs G. Mills.	<div>Design & Documentation by Douglas Cope. QBSA Licence No. 1037753 ABN. 86 86 11 73 484</div> <div>All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.</div> <div>DATE. APR, 21 DRAWN. D.C. SCALE. 1 : 100</div> <div>DRAWING TITLE. CONST. SECTION, ROOF PLAN. PROJECT No. B1161 DWG No. D5/3 A</div>	<div>49 Kingsley Lane Byron Bay NSW 2481</div> <div>Ppdc Mob. 0401 000126 Email doug@ppdc.com.au</div> <div>prestige properties design & construction Development Consultants/Architectural Designers RAIA 25222. QBSA Licence No. 1037753.</div>
AMEND.	DATE.	INT.	DESCRIPTION.			
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.			



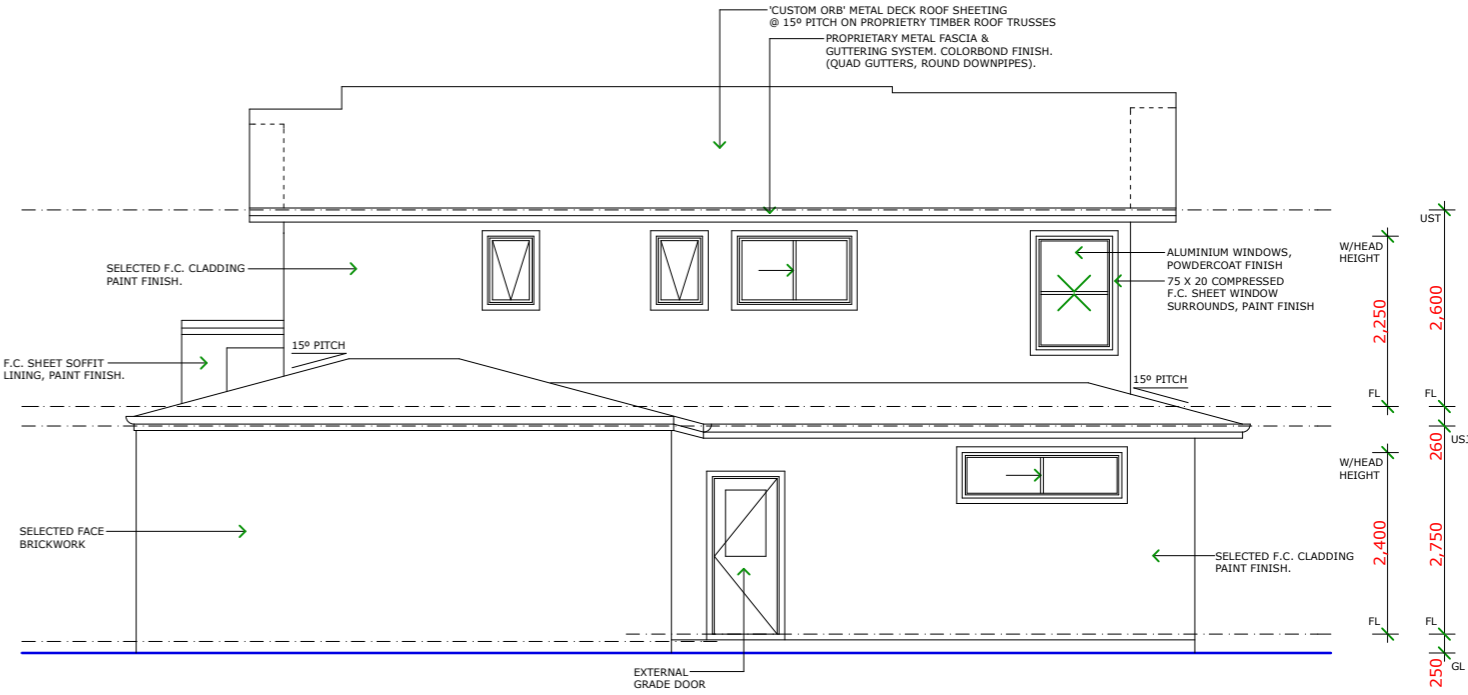
ELEVATION 1. WEST.
SCALE 1 : 100



ELEVATION 2. NORTH.
SCALE 1 : 100



ELEVATION 3. EAST.
SCALE 1 : 100



ELEVATION 4. SOUTH.
SCALE 1 : 100

DWELLING 6
ELEVATIONS

SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

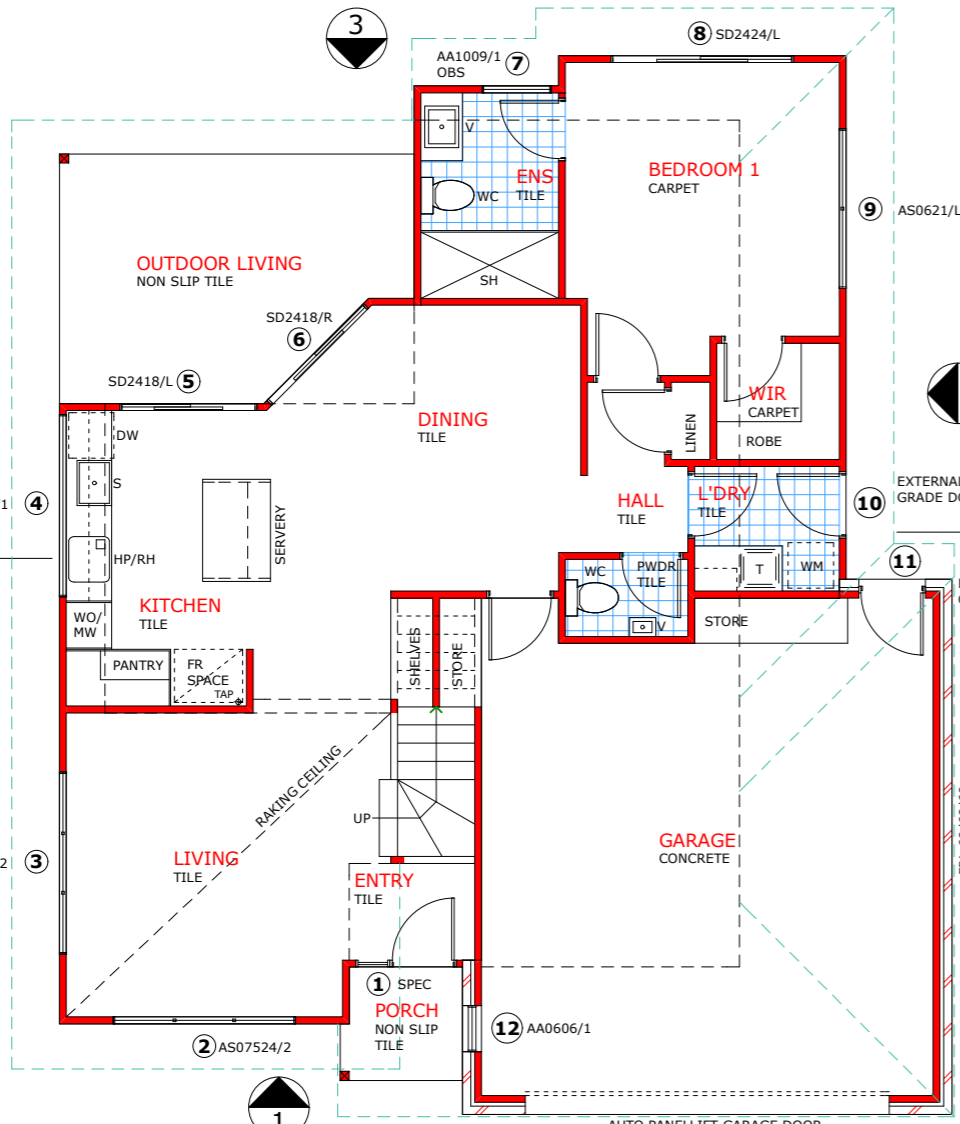
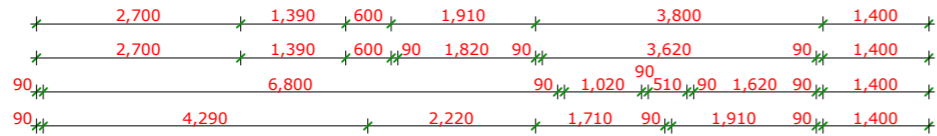
Design & Documentation by Douglas Cope.
QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

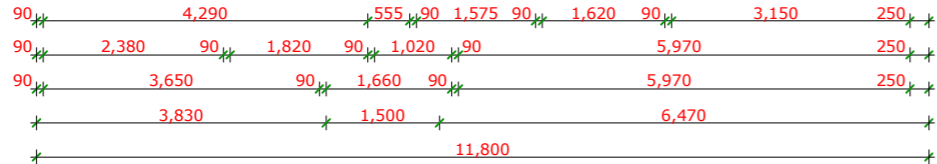
DATE. APR, 21	DRAWING TITLE. ELEVATIONS.
DRAWN. D.C.	PROJECT No. B1161 DWG No. D6/2
SCALE. 1 : 100	A

ppdc
49 Kingsley Lane
Byron Bay NSW 2481
Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.



GROUND FLOOR PLAN.
SCALE 1 : 100



AREA SCHEDULE

GROUND FLOOR LIVING	85.2m2
GARAGE	42.3
PORCH	2.3
OUTDOOR LIVING	13.7
FIRST FLOOR LIVING	64.4m2

TOTAL AREA 207.9m2

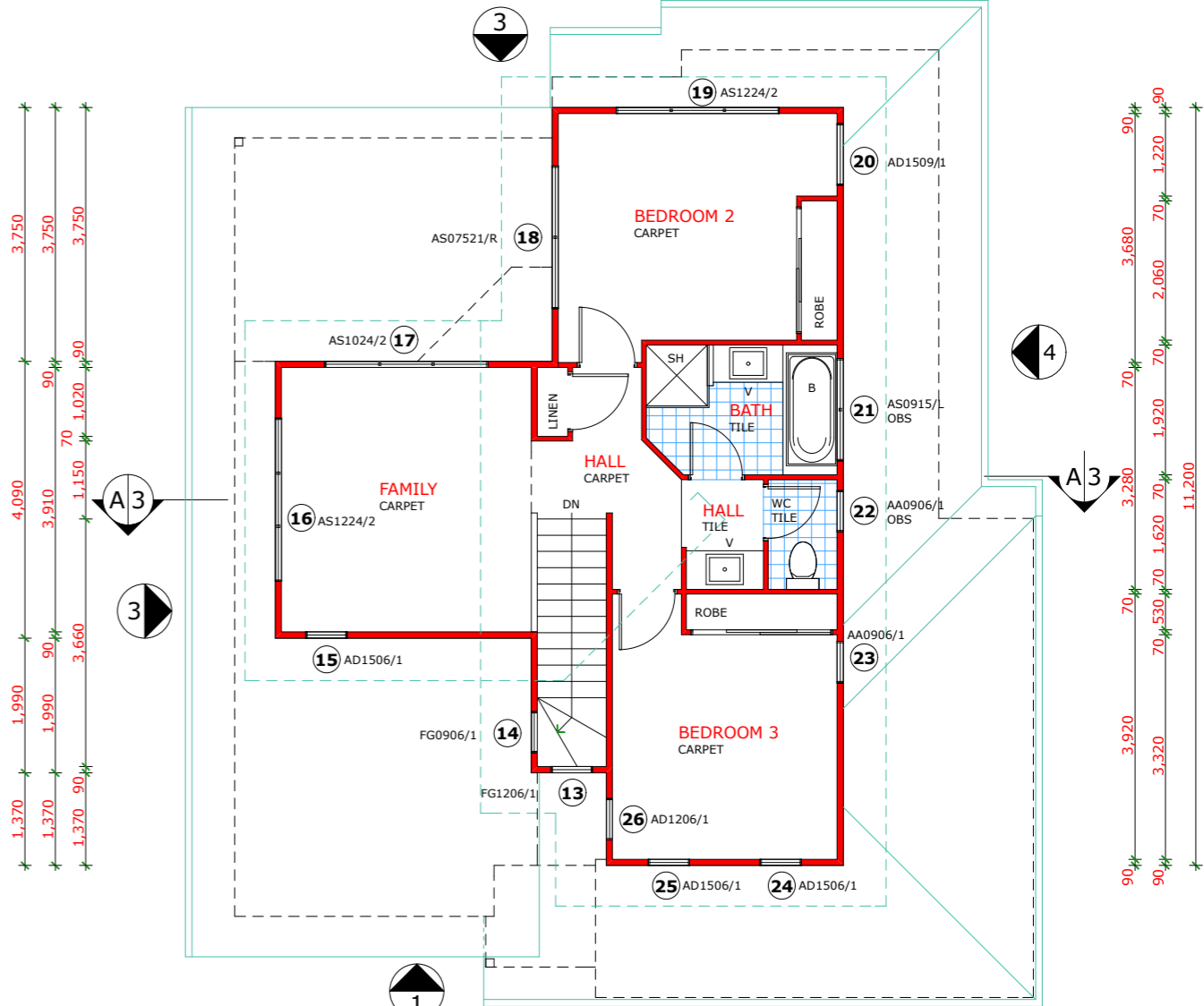
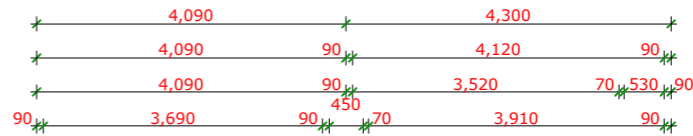
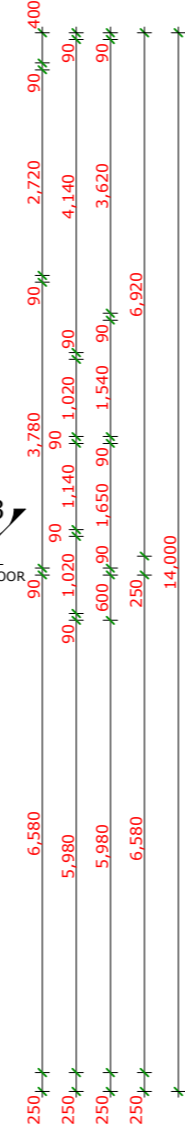
AREA SCHEDULE.
FLOOR SPACE RATIO.

MEASURED TO THE INSIDE
FACE OF THE EXTERNAL WALLS.
NOT INCLUDING CARPARKING REQUIREMENTS,
AREA FOR VERTICAL CIRCULATION. (STAIRS),
TERRACES & BALCONIES WITH OUTER
WALLS LESS THAN 1.4 METRES HIGH.
GROUND FLOOR LIVING 82.0m2
FIRST FLOOR LIVING 57.2m2

TOTAL AREA 139.2m2

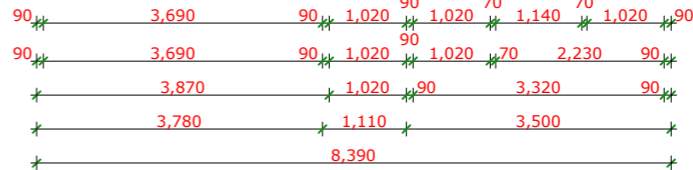
DWELLING 6
FLOOR PLANS

SCALE 1 : 100



FIRST FLOOR PLAN.
SCALE 1 : 100

NOTE.
ALL FIRST FLOOR WINDOWS TO BE IN ACCORDANCE WITH
BCA. VOLUME 2. CLAUSE 3.9.2.5. PROTECTION OF OPENABLE WINDOWS.
LOUVER AND AWNING WINDOWS OPENABLE PORTION TO BE PROTECTED WITH.
(A). A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENING.
(B). A SCREEN WITH SECURE FITTINGS.



DWELLING BASIX REQUIREMENTS.
REFER BASIX CERTIFICATE. NUMBER 1197070M FOR WATER,
THERMAL COMFORT & ENERGY REQUIREMENTS.
HOT WATER SYSTEM TO BE A SOLAR (ELECTRIC BOOSTED) SYSTEM.
PERFORMANCE OF 31 TO 35 STC'S OR BETTER.
THAT IS ELIGIBLE TO CREATE RENEWABLE ENERGY CERTIFICATES
UNDER RENEWABLE ENERGY REGULATIONS 2001.
(AMENDMENT REGULATIONS 2005 No 2).
ROOF INSULATION
PROVIDE 60MM REFLECTIVE FOIL BLANKET.
TO UNDERSIDE OF ROOF SHEETING THROUGHOUT.
MIN. R3.5 INSULATION TO CEILINGS
MIN. R2.0 INSULATION BETWEEN GARAGE & FLOOR ABOVE
MIN. R2.5 INSULATION OVER RAKING CEILINGS
EXTERNAL WALL INSULATION.
MIN R2.5 90MM BULK INSULATION TO ALL TIMBER FRAME EXTERNAL WALLS.
INTERNAL WALL INSULATION.
MIN R2.0 90MM BULK INSULATION BETWEEN GARAGE & LIVING AREAS.
ALL SHOWERHEADS TO HAVE A MINIMUM 3 STAR RATING.
(>7.5 but <=9 L/Min)
ALL TOILETS TO HAVE A MINIMUM 3 STAR RATING.
AND BE DUAL FLUSH.
SINK AND BASIN TAPS TO HAVE A MINIMUM 3 STAR RATING.
EXTERNAL COLOUR SCHEME
ROOF SHEETING. COLORBOND. MEDIUM COLOUR.
CEILING FANS TO A MINIMUM OF 1 LIVING AREA AND 1 BEDROOM
WINDOWS, DOORS TO BE IN ACCORDANCE WITH
THERMAL COMFORT COMMITMENTS. BASIX CERTIFICATE NUMBER 1197070M.

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

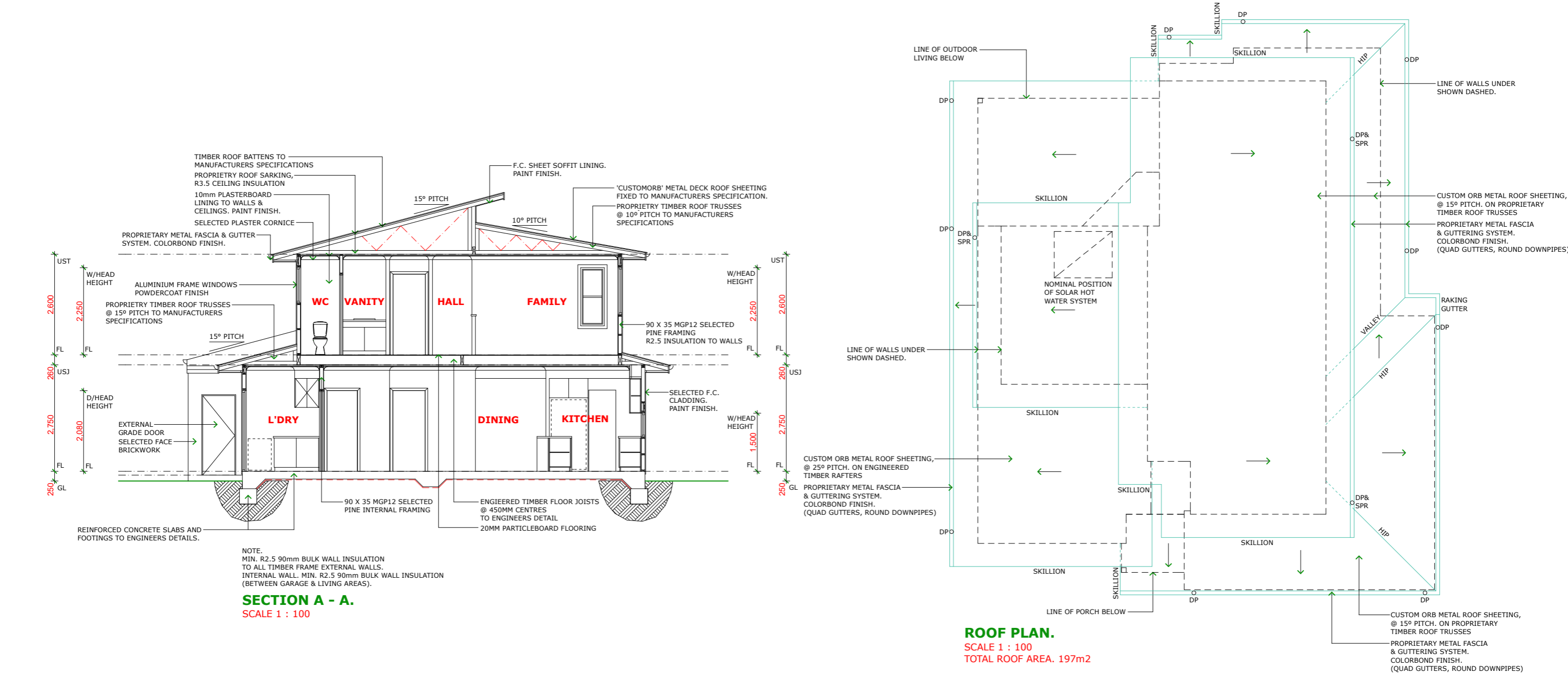
Design & Documentation by Douglas Cope.		QBSA Licence No. 1037753 ABN. 86 86 11 73 484	
All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.			
DATE. APR, 21	DRAWING TITLE. FLOOR PLANS.		
DRAWN. D.C.	PROJECT No.	DWG No.	
SCALE. 1 : 100	B1161		D6/1 A

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc

Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.

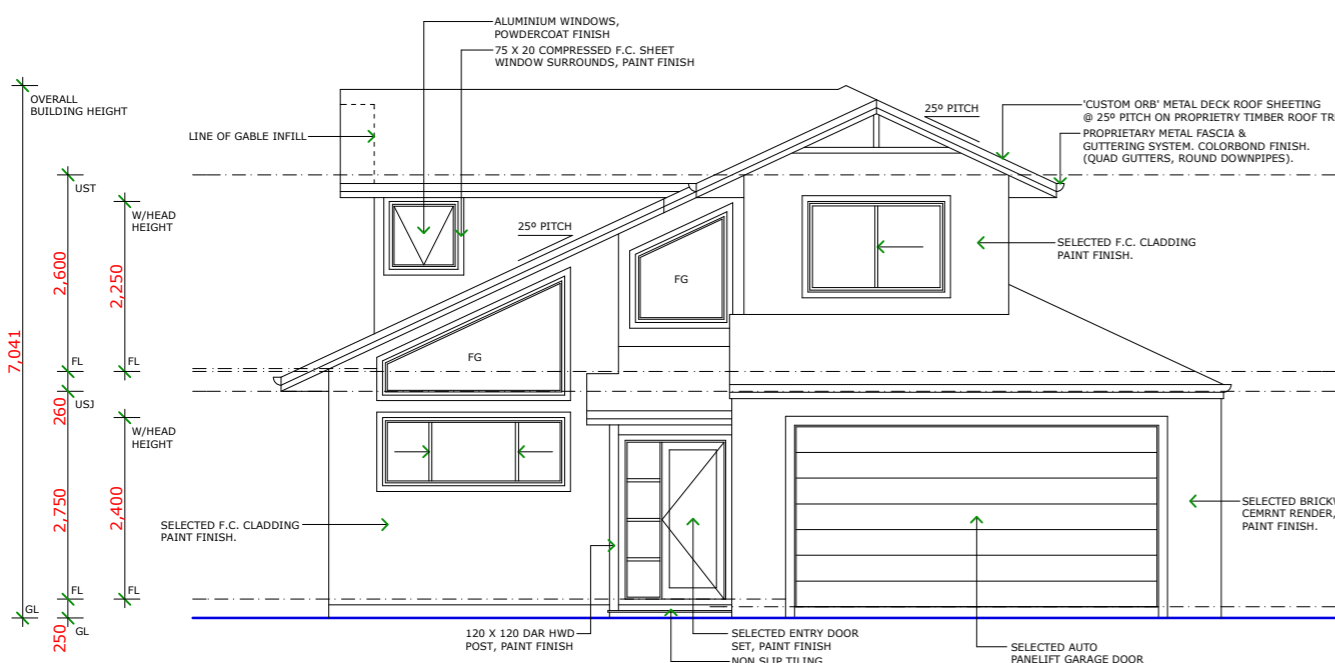


NOTE.
ALL DOWNPIPES TO BE CONNECTED TO
ON-SITE STORMWATER DRAINAGE SYSTEM.
REFER TO ENGINEERS DETAILS FOR NOMINAL LOCATIONS.

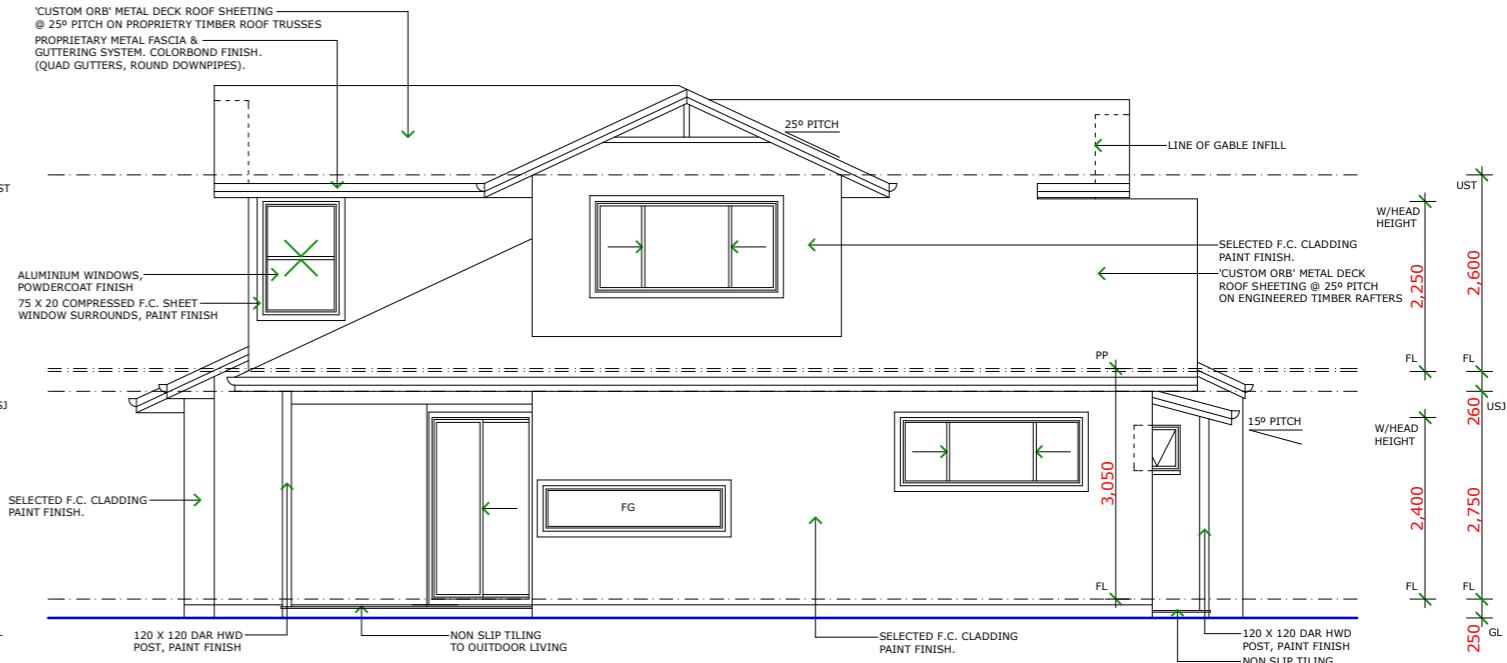
DWELLING 6
CONSTRUCTION SECTION, ROOF PLAN

SCALE 1 : 100

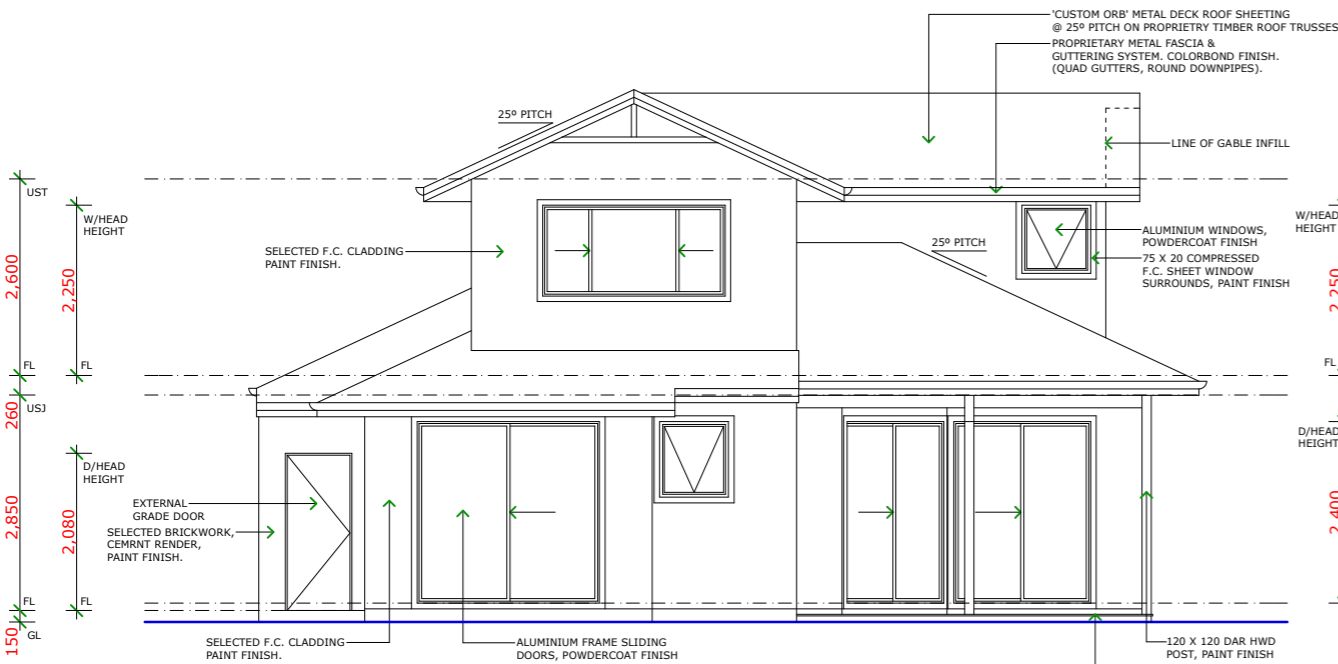
<div>AMENDMENTS.</div> <table><tr><td>AMEND.</td><td>DATE.</td><td>INT.</td><td>DESCRIPTION.</td></tr><tr><td>AMEND A.</td><td>20.05.21.</td><td>D.C.</td><td>ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.</td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></table>				AMEND.	DATE.	INT.	DESCRIPTION.	AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.																									<div>PROJECT.</div> <div>PROPOSED NEW UNIT DEVELOPMENT.</div> <div>AT.</div> <div>Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.</div> <div>FOR.</div> <div>Mr J. & Mrs G. Mills.</div>		<div>Design & Documentation by Douglas Cope.</div> <div>QBSA Licence No. 1037753 ABN. 86 86 11 73 484</div> <div>All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.</div> <div><table><tr><td>DATE.</td><td>APR, 21</td><td>DRAWING TITLE.</td><td>CONST. SECTION, ROOF PLAN.</td></tr><tr><td>DRAWN.</td><td>D.C.</td><td>PROJECT No.</td><td>B1161</td></tr><tr><td>SCALE.</td><td>1 : 100</td><td>DWG No.</td><td>D6/3 A</td></tr></table></div> <div><div>Prestige Properties Design & Construction 49 Kingsley Lane Byron Bay NSW 2481 Mob. 0401 000126 Email doug@ppdc.com.au</div><div>prestige properties design & construction Development Consultants/Architectural Designers RAIA 25222. QBSA Licence No. 1037753.</div></div>		DATE.	APR, 21	DRAWING TITLE.	CONST. SECTION, ROOF PLAN.	DRAWN.	D.C.	PROJECT No.	B1161	SCALE.	1 : 100	DWG No.	D6/3 A
AMEND.	DATE.	INT.	DESCRIPTION.																																																
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.																																																
DATE.	APR, 21	DRAWING TITLE.	CONST. SECTION, ROOF PLAN.																																																
DRAWN.	D.C.	PROJECT No.	B1161																																																
SCALE.	1 : 100	DWG No.	D6/3 A																																																



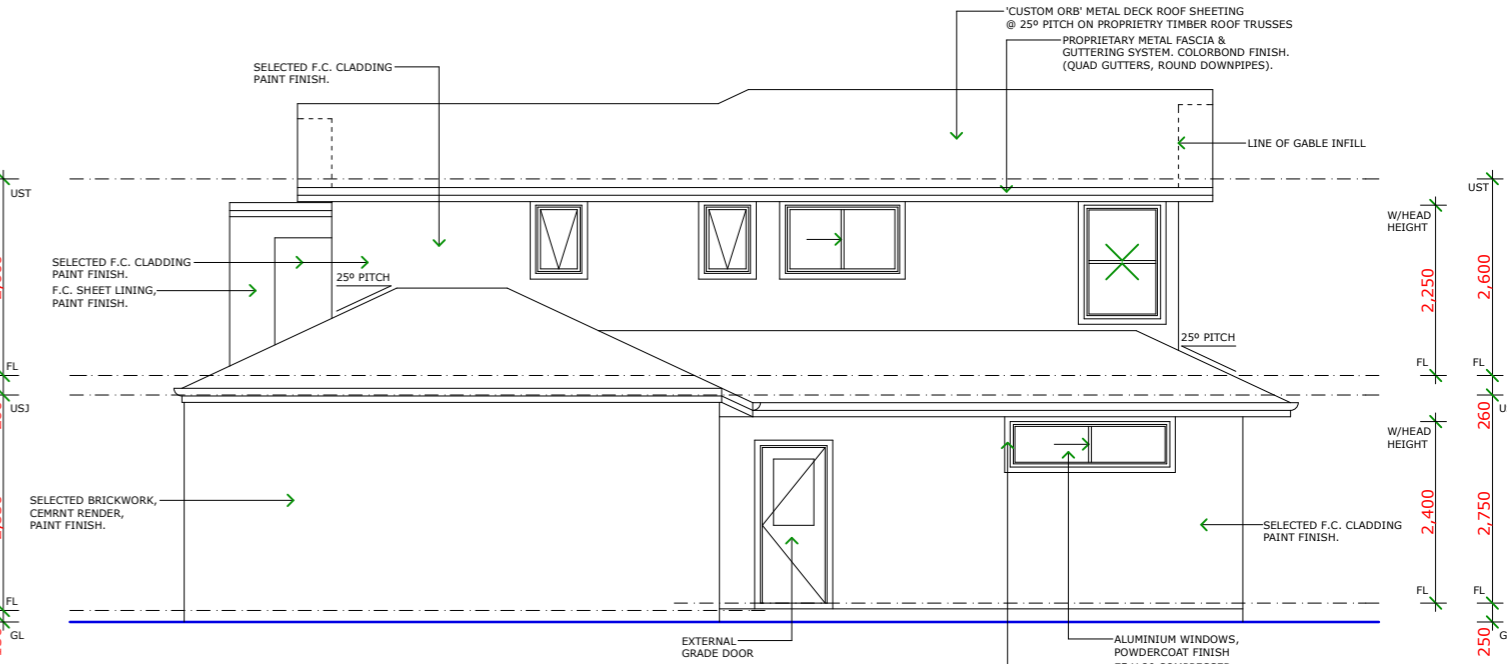
ELEVATION 1. WEST.
SCALE 1 : 100



ELEVATION 2. NORTH.
SCALE 1 : 100



ELEVATION 3. EAST.
SCALE 1 : 100



ELEVATION 4. SOUTH.
SCALE 1 : 100

DWELLING 7
ELEVATIONS

SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

Design & Documentation by Douglas Cope.
QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

DATE. APR, 21

DRAWN. D.C.

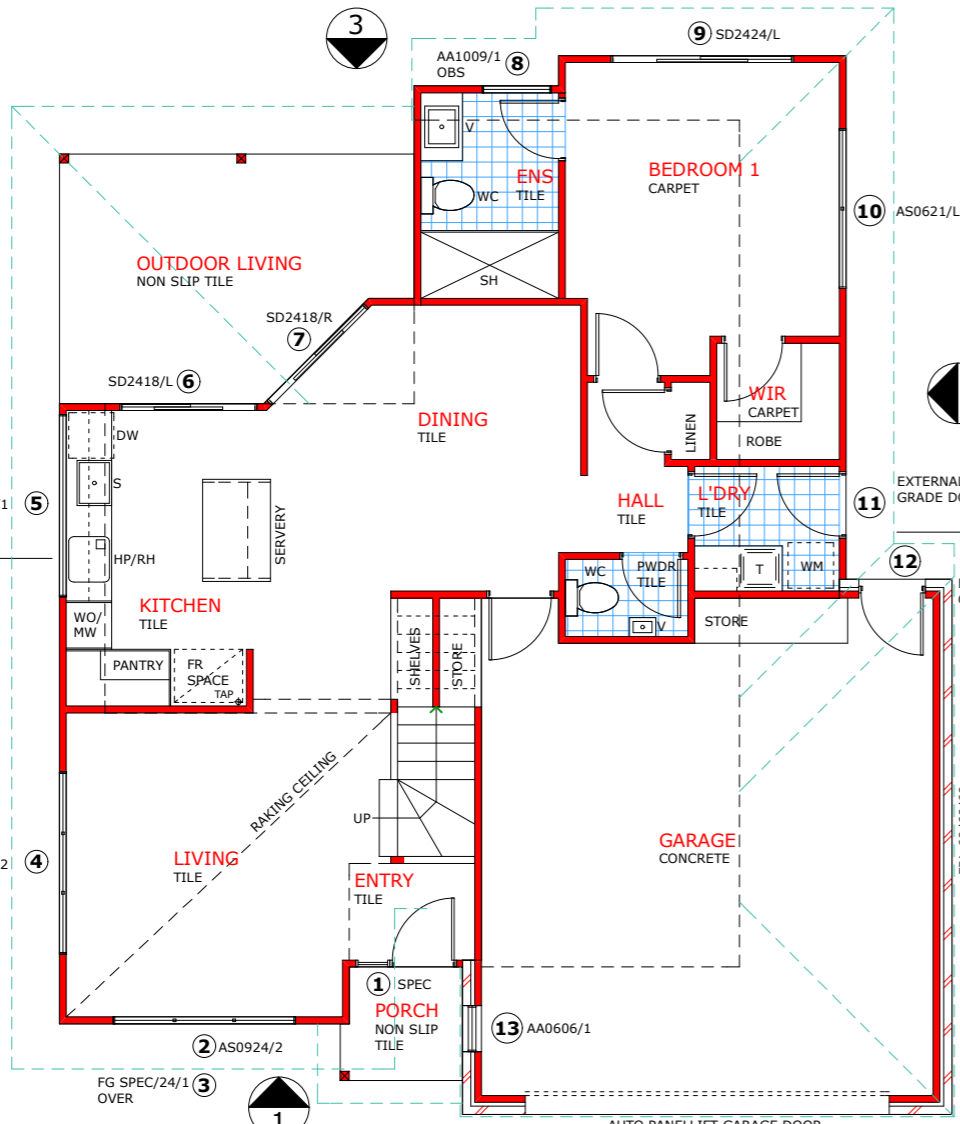
SCALE. 1 : 100

DRAWING TITLE. **ELEVATIONS.**

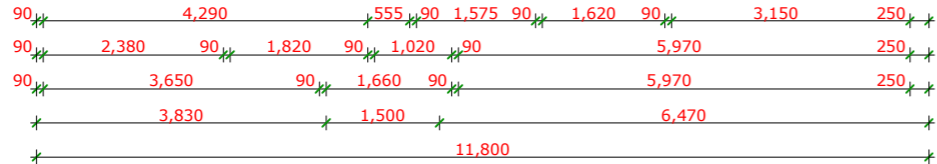
PROJECT No. **B1161** DWG No. **D7/2**

Ppdc
49 Kingsley Lane
Byron Bay NSW 2481
Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222, QBSA Licence No. 1037753.



GROUND FLOOR PLAN.
SCALE 1 : 100



AREA SCHEDULE

GROUND FLOOR LIVING	85.2m2
GARAGE	42.3
PORCH	2.3
OUTDOOR LIVING	13.7
FIRST FLOOR LIVING	64.4m2

TOTAL AREA 207.9m2

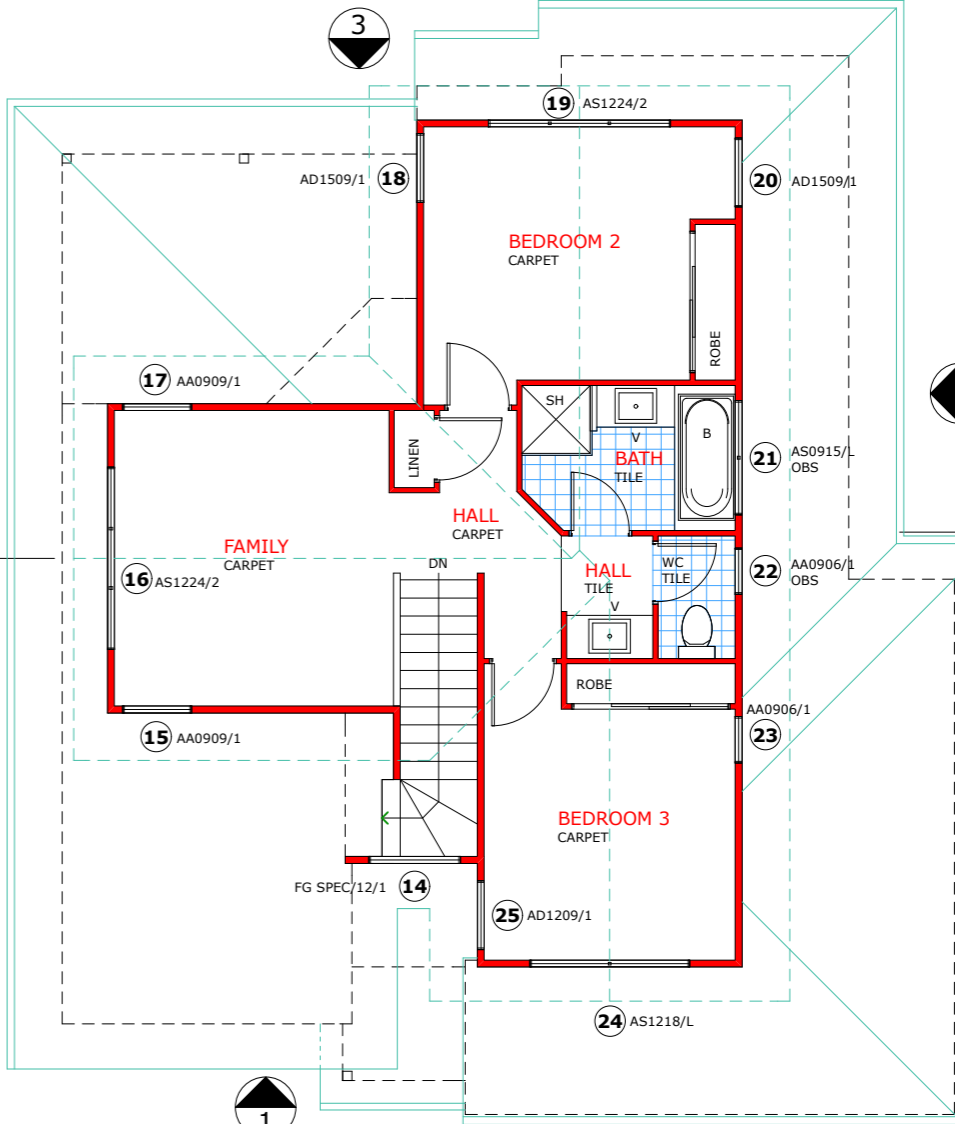
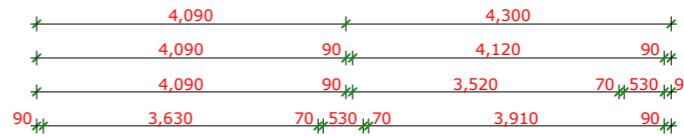
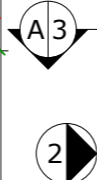
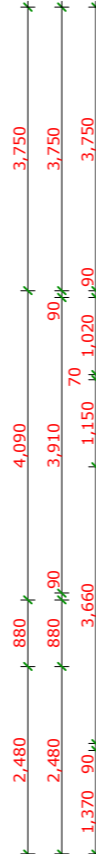
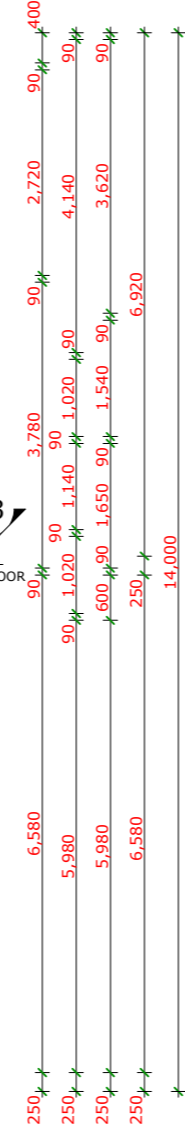
AREA SCHEDULE.
FLOOR SPACE RATIO.

MEASURED TO THE INSIDE
FACE OF THE EXTERNAL WALLS.
NOT INCLUDING CARPARKING REQUIREMENTS,
AREA FOR VERTICAL CIRCULATION. (STAIRS).
TERRACES & BALCONIES WITH OUTER
WALLS LESS THAN 1.4 METRES HIGH.
GROUND FLOOR LIVING 82.0m2
FIRST FLOOR LIVING 57.2m2

TOTAL AREA 139.2m2

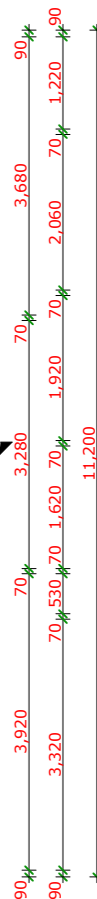
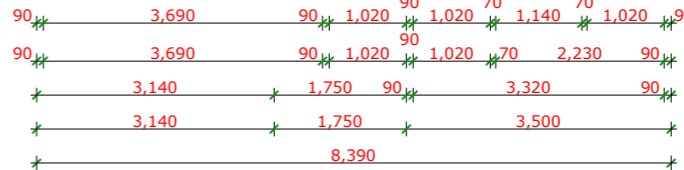
DWELLING 7
FLOOR PLANS

SCALE 1 : 100



FIRST FLOOR PLAN.
SCALE 1 : 100

NOTE.
ALL FIRST FLOOR WINDOWS TO BE IN ACCORDANCE WITH
BCA. VOLUME 2. CLAUSE 3.9.2.5. PROTECTION OF OPENABLE WINDOWS.
LOUVER AND AWNING WINDOWS OPENABLE PORTION TO BE PROTECTED WITH.
(A). A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENING.
(B). A SCREEN WITH SECURE FITTINGS.



DWELLING BASIX REQUIREMENTS.
REFER BASIX CERTIFICATE. NUMBER 1197070M FOR WATER,
THERMAL COMFORT & ENERGY REQUIREMENTS.
HOT WATER SYSTEM TO BE A SOLAR (ELECTRIC BOOSTED) SYSTEM.
PERFORMANCE OF 31 TO 35 STC'S OR BETTER.
THAT IS ELIGIBLE TO CREATE RENEWABLE ENERGY CERTIFICATES
UNDER RENEWABLE ENERGY REGULATIONS 2001.
(AMENDMENT REGULATIONS 2005 No 2).
ROOF INSULATION
PROVIDE 60MM REFLECTIVE FOIL BLANKET.
TO UNDERSIDE OF ROOF SHEETING THROUGHOUT.
MIN. R3.5 INSULATION TO CEILINGS
MIN. R2.0 INSULATION BETWEEN GARAGE & FLOOR ABOVE
MIN. R2.5 INSULATION OVER RAKING CEILINGS
EXTERNAL WALL INSULATION.
MIN R2.5 90MM BULK INSULATION TO ALL TIMBER FRAME EXTERNAL WALLS.
INTERNAL WALL INSULATION.
MIN R2.0 90MM BULK INSULATION BETWEEN GARAGE & LIVING AREAS.
ALL SHOWERHEADS TO HAVE A MINIMUM 3 STAR RATING.
(>7.5 but <=9 L/Min)
ALL TOILETS TO HAVE A MINIMUM 3 STAR RATING.
AND BE DUAL FLUSH.
SINK AND BASIN TAPS TO HAVE A MINIMUM 3 STAR RATING.
EXTERNAL COLOUR SCHEME
ROOF SHEETING. COLORBOND. MEDIUM COLOUR.
CEILING FANS TO A MINIMUM OF 1 LIVING AREA AND 1 BEDROOM
WINDOWS, DOORS TO BE IN ACCORDANCE WITH
THERMAL COMFORT COMMITMENTS. BASIX CERTIFICATE NUMBER 1197070M.

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

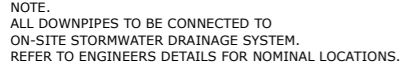
Design & Documentation by Douglas Cope. QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

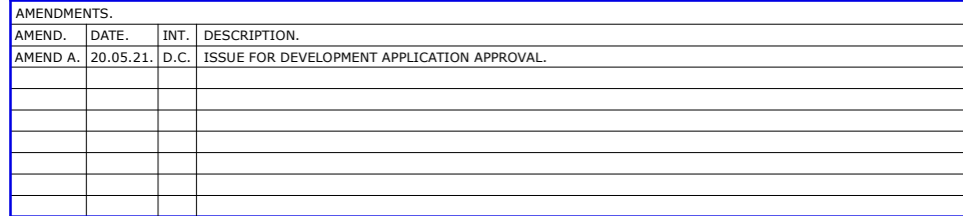
DATE. APR, 21
DRAWN. D.C.
SCALE. 1 : 100

DRAWING TITLE. **FLOOR PLANS.**
PROJECT No. **B1161** DWG No. **D7/1 A**

ppdc
prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.
49 Kingsley Lane
Byron Bay NSW 2481
Mob. 0401 000126
Email doug@ppdc.com.au



SCALE 1 : 100



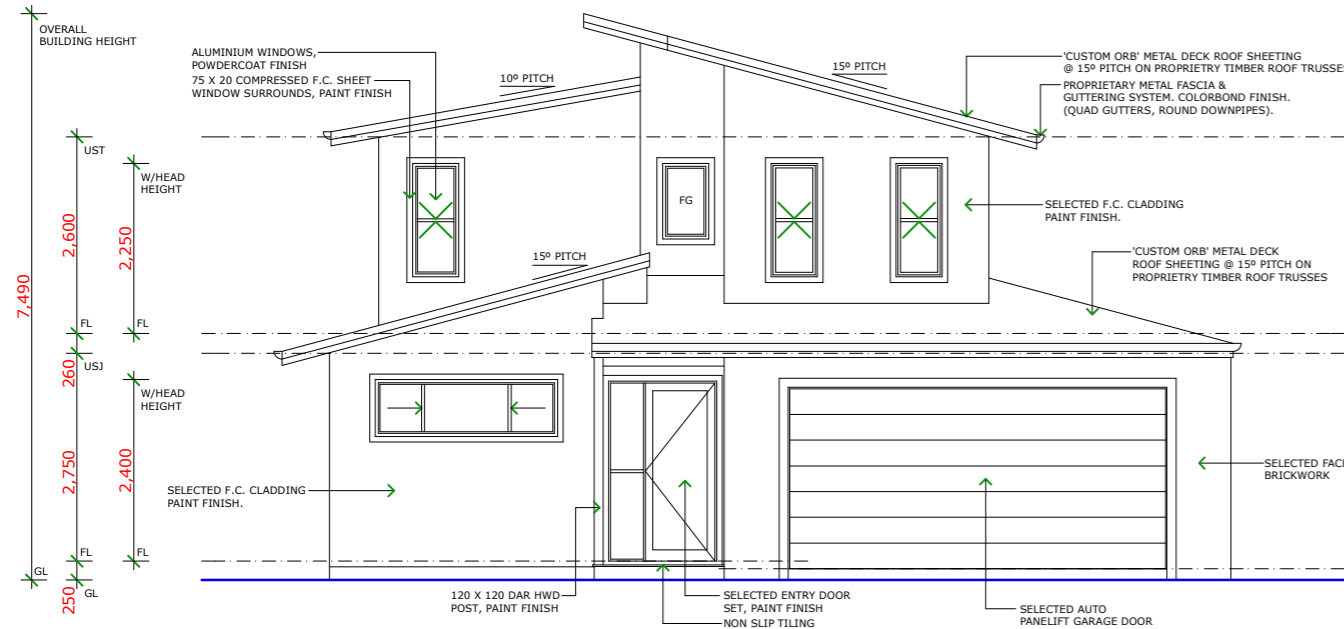
Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.
FOR.
Mr J. & Mrs G. Mills.

Design & Documentation by Douglas Cope.		QBSA Licence No. 1037753 ABN. 86 86 173 484	
<p>All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.</p>			
DATE. APR, 21	DRAWING TITLE. CONST. SECTION, ROOF PLAN.		
DRAWN. D.C.	PROJECT No.	DWG No.	
SCALE. 1 : 100	B1161	D7/3 A	

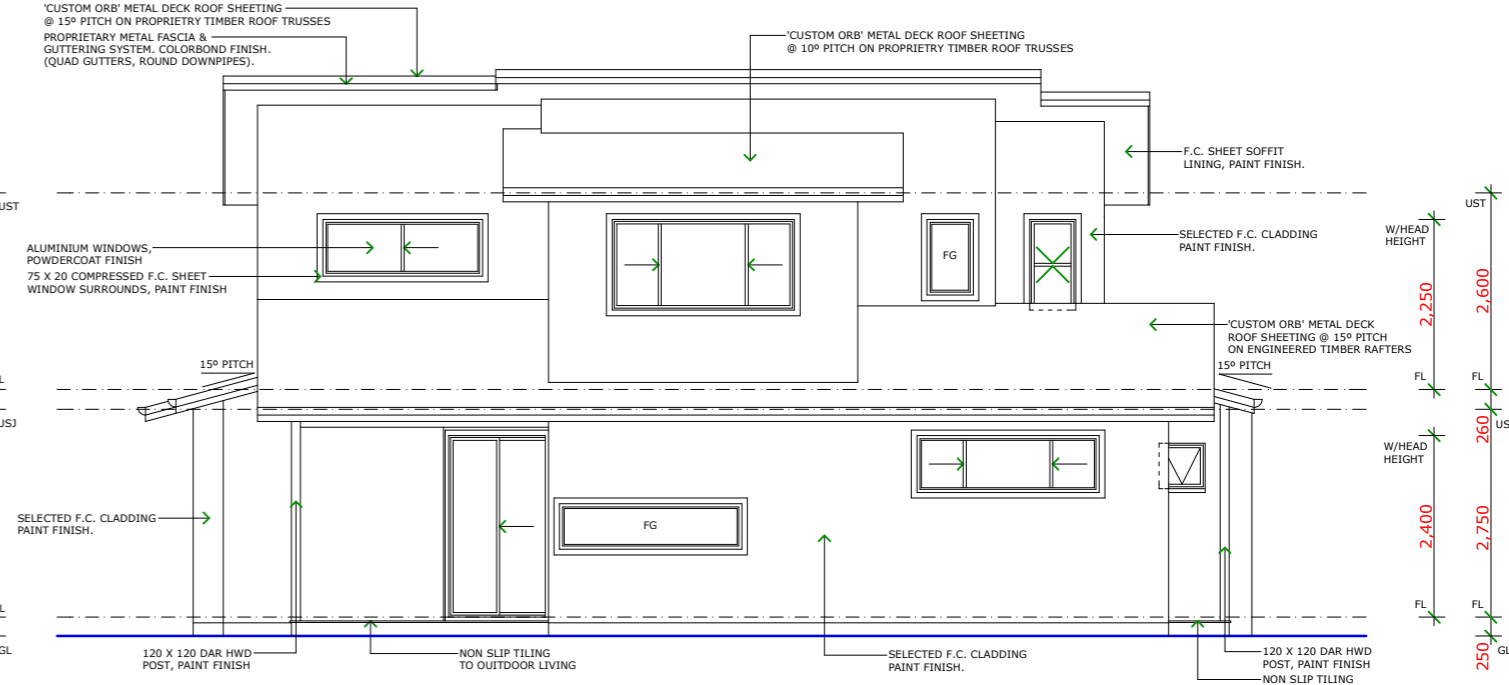
ppdc 49 Kingsley Lane
Byron Bay NSW 2481

Mob. 0401 000126
Email doug@ppdc.com.au

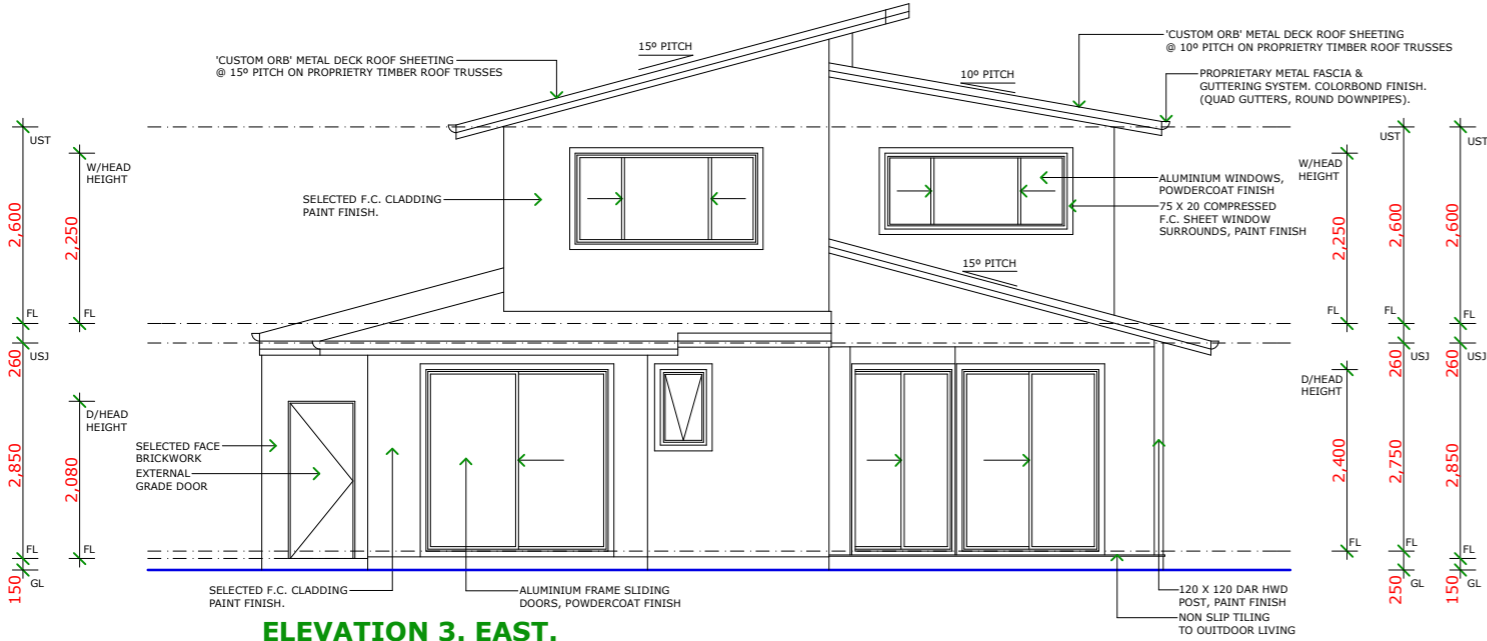
prestige properties design & construction
Development Consultants|Architectural Designers
RAIA 25222, QBSA Licence No. 1037753.



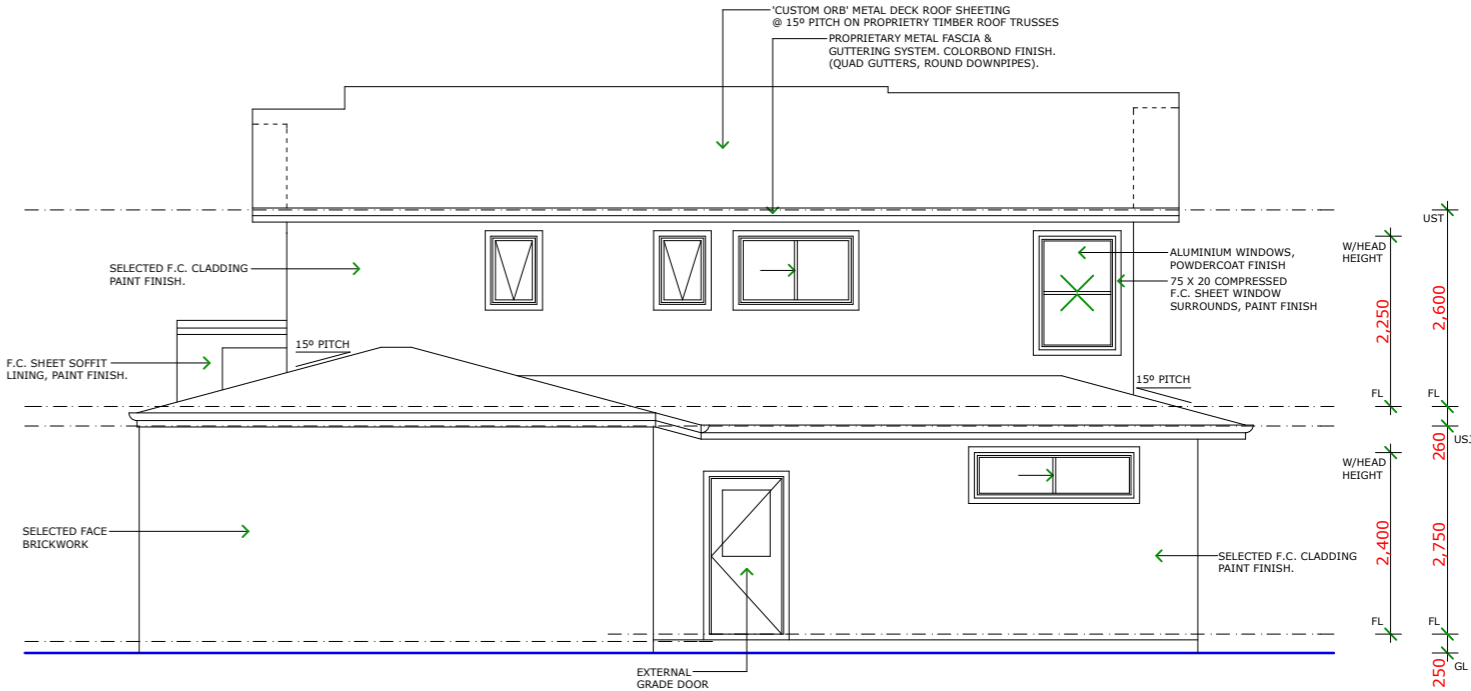
ELEVATION 1. WEST.
SCALE 1 : 100



ELEVATION 2. NORTH.
SCALE 1 : 100



ELEVATION 3. EAST.
SCALE 1 : 100



ELEVATION 4. SOUTH.
SCALE 1 : 100

DWELLING 8 ELEVATIONS

SCALE 1 : 100

UPDATED DRAWING SUBMITTED 8/9/21

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

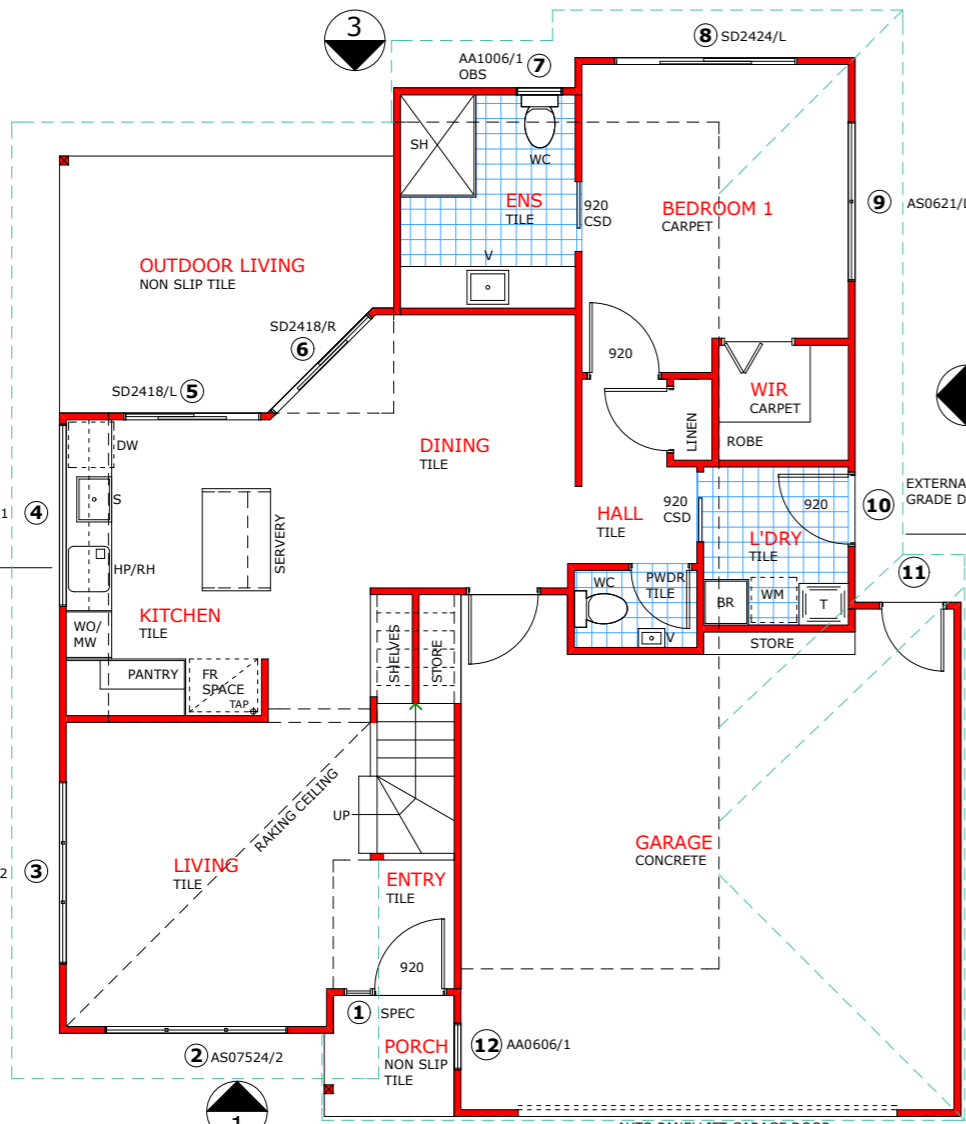
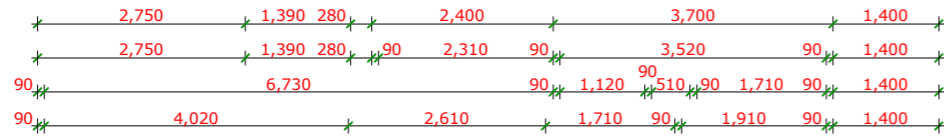
Design & Documentation by Douglas Cope. QBSA Licence No. 1037753 ABN. 86 86 11 73 484			
All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.			
DATE. APR, 21	DRAWING TITLE. ELEVATIONS.	PROJECT No. B1161 DWG No. D8/2 A	
DRAWN. D.C.	SCALE. 1 : 100		

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc

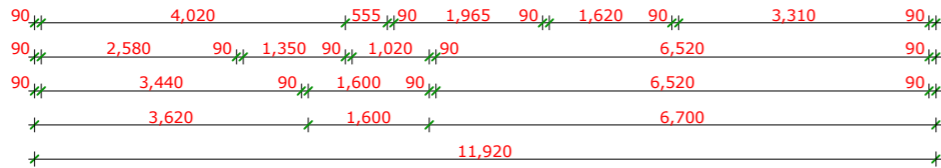
Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.



GROUND FLOOR PLAN.

SCALE 1 : 100



AREA SCHEDULE

GROUND FLOOR LIVING	86.7m2
GARAGE	43.2
PORCH	2.7
OUTDOOR LIVING	13.7
FIRST FLOOR LIVING	63.0m2

TOTAL AREA 209.3m2

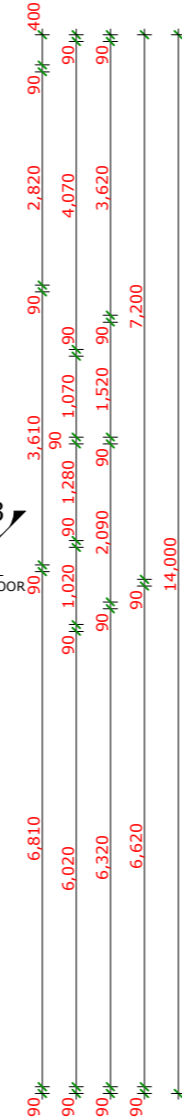
AREA SCHEDULE.
FLOOR SPACE RATIO.

MEASURED TO THE INSIDE
FACE OF THE EXTERNAL WALLS.
NOT INCLUDING CARPARKING REQUIREMENTS,
AREA FOR VERTICAL CIRCULATION. (STAIRS).
TERRACES & BALCONIES WITH OUTER
WALLS LESS THAN 1.4 METRES HIGH.
GROUND FLOOR LIVING 79.4m2
FIRST FLOOR LIVING 55.8m2

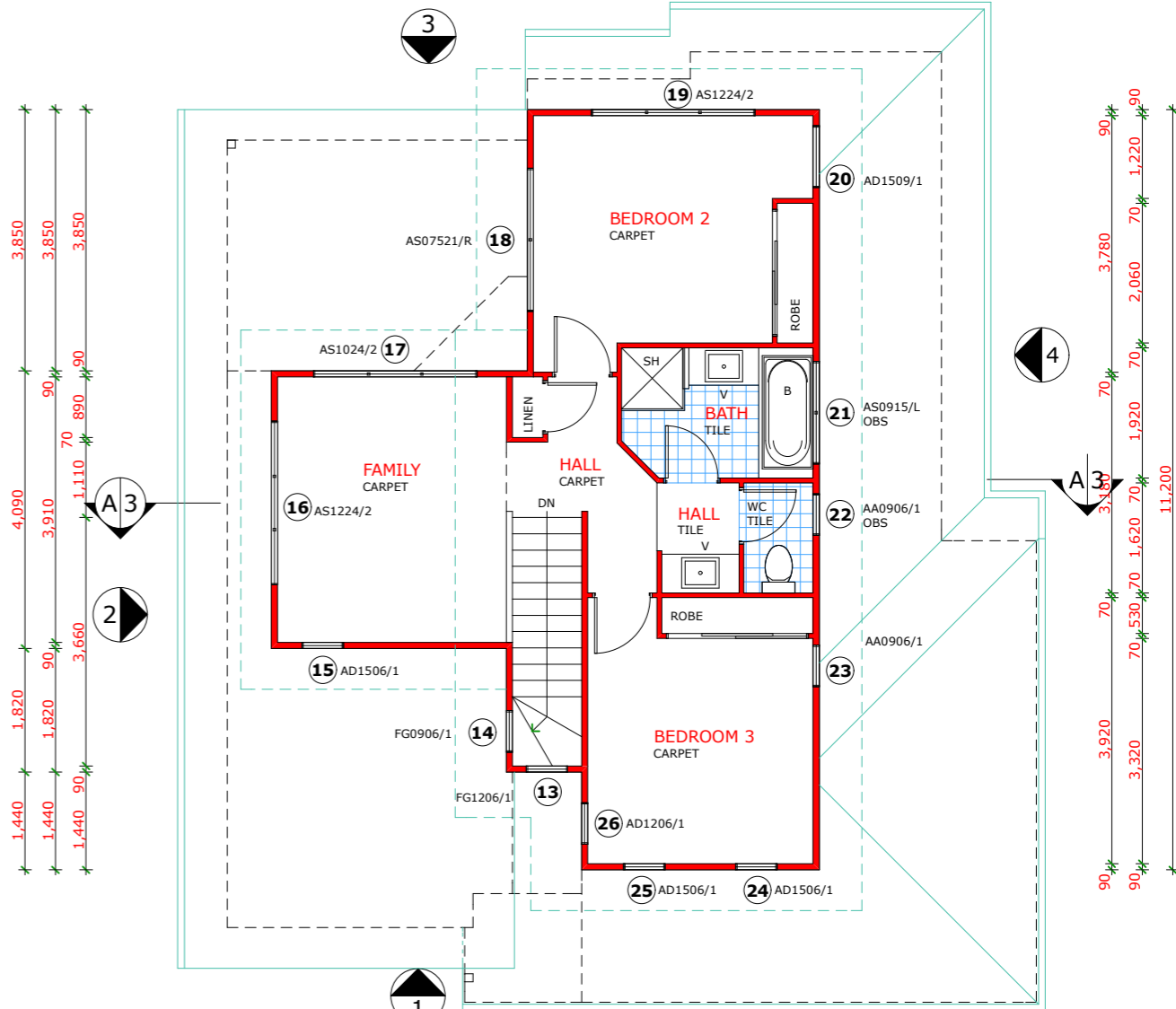
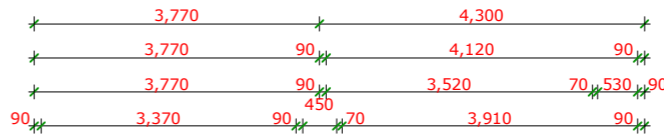
TOTAL AREA 135.2m2

DWELLING 8
FLOOR PLANS

SCALE 1 : 100

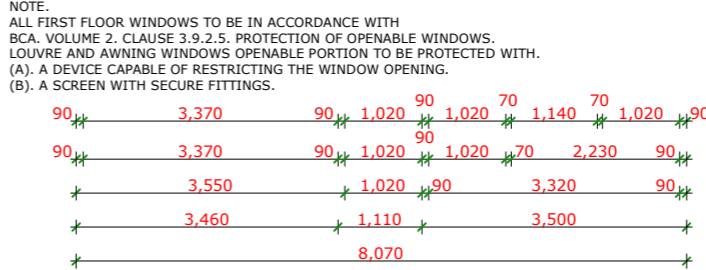


DWELLING BASIX REQUIREMENTS.
REFER BASIX CERTIFICATE. NUMBER 1197070M FOR WATER,
THERMAL COMFORT & ENERGY REQUIREMENTS.
HOT WATER SYSTEM TO BE A SOLAR (ELECTRIC BOOSTED) SYSTEM.
PERFORMANCE OF 31 TO 35 STC'S OR BETTER.
THAT IS ELIGIBLE TO CREATE RENEWABLE ENERGY CERTIFICATES
UNDER RENEWABLE ENERGY REGULATIONS 2001.
(AMENDMENT REGULATIONS 2005 No 2).
ROOF INSULATION
PROVIDE 60MM REFLECTIVE FOIL BLANKET.
TO UNDERSIDE OF ROOF SHEETING THROUGHOUT.
MIN. R3.5 INSULATION TO CEILINGS
MIN. R2.0 INSULATION BETWEEN GARAGE & FLOOR ABOVE
MIN. R2.5 INSULATION OVER RAKING CEILINGS
EXTERNAL WALL INSULATION.
MIN R2.5 90MM BULK INSULATION TO ALL TIMBER FRAME EXTERNAL WALLS.
INTERNAL WALL INSULATION.
MIN R2.0 90MM BULK INSULATION BETWEEN GARAGE & LIVING AREAS.
ALL SHOWERHEADS TO HAVE A MINIMUM 3 STAR RATING.
(>7.5 but <=9 L/Min)
ALL TOILETS TO HAVE A MINIMUM 3 STAR RATING.
AND BE DUAL FLUSH.
SINK AND BASIN TAPS TO HAVE A MINIMUM 3 STAR RATING.
EXTERNAL COLOUR SCHEME
ROOF SHEETING. COLORBOND. MEDIUM COLOUR.
CEILING FANS TO A MINIMUM OF 1 LIVING AREA AND 1 BEDROOM
WINDOWS, DOORS TO BE IN ACCORDANCE WITH
THERMAL COMFORT COMMITMENTS. BASIX CERTIFICATE NUMBER 1197070M.



FIRST FLOOR PLAN.

SCALE 1 : 100



UPDATED DRAWING SUBMITTED 8/9/21

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**
AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**
FOR. **Mr J. & Mrs G. Mills.**

Design & Documentation by Douglas Cope. QBSA Licence No. 1037753 ABN. 86 86 11 73 484	
All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing. Use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.	
DATE. APR, 21	DRAWING TITLE. FLOOR PLANS.
DRAWN. D.C.	PROJECT No. B1161 DWG No. D8/1 A
SCALE. 1 : 100	

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc

Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.

NOTE.
ALL DOWNPIPES TO BE CONNECTED TO
ON-SITE STORMWATER DRAINAGE SYSTEM.
REFER TO ENGINEERS DETAILS FOR NOMINAL LOCATIONS.

DWELLING 8
CONSTRUCTION SECTION, ROOF PLAN

SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT.
PROPOSED NEW UNIT DEVELOPMENT.

AT.
Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.

FOR.
Mr J. & Mrs G. Mills.

UPDATED DRAWING SUBMITTED 8/9/21

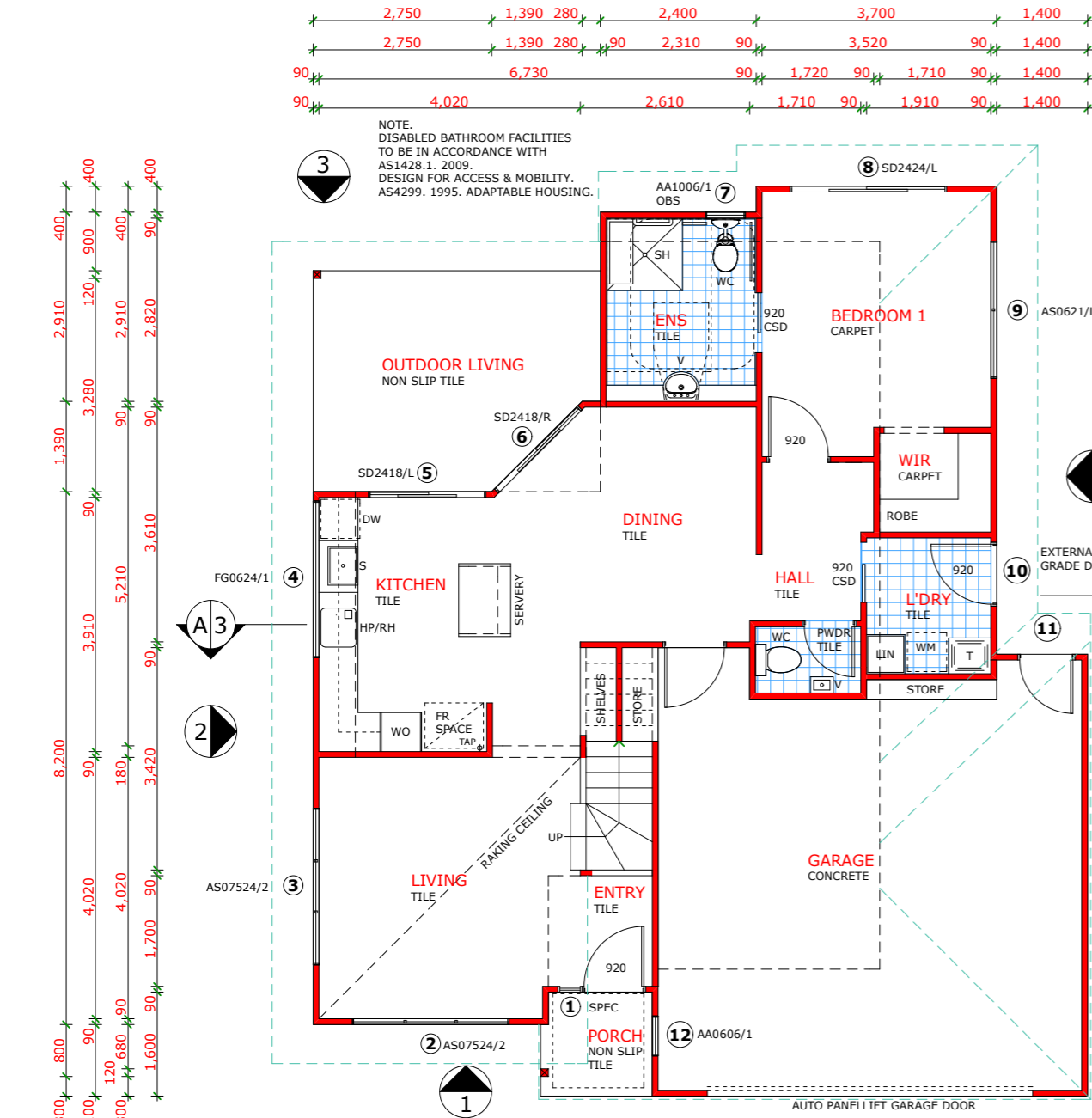
Design & Documentation by Douglas Cope.
QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

DATE.	APR, 21	DRAWING TITLE.	CONST. SECTION, ROOF PLAN.
DRAWN.	D.C.	PROJECT No.	B1161
SCALE.	1 : 100	DWG No.	D8/3 A

ppdc
49 Kingsley Lane
Byron Bay NSW 2481
Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222, QBSA Licence No. 1037753.



GROUND FLOOR PLAN. SCALE 1 : 100

AREA SCHEDULE

GROUND FLOOR LIVING	86.7m2
GARAGE	43.2
PORCH	2.7
OUTDOOR LIVING	13.7
FIRST FLOOR LIVING	63.0m2
TOTAL AREA	209.3m2

ADAPTABLE HOUSING CONVERSION DWELLING 8 FLOOR PLANS

SCALE 1 : 100

AREA SCHEDULE. FLOOR SPACE RATIO.

MEASURED TO THE INSIDE FACE OF THE EXTERNAL WALLS. NOT INCLUDING CARPARKING REQUIREMENTS, AREA FOR VERTICAL CIRCULATION. (STAIRS), TERRACES & BALCONIES WITH OUTER WALLS LESS THAN 1.4 METRES HIGH.	
GROUND FLOOR LIVING	79.3m2
FIRST FLOOR LIVING	55.8m2
TOTAL AREA	135.1m2

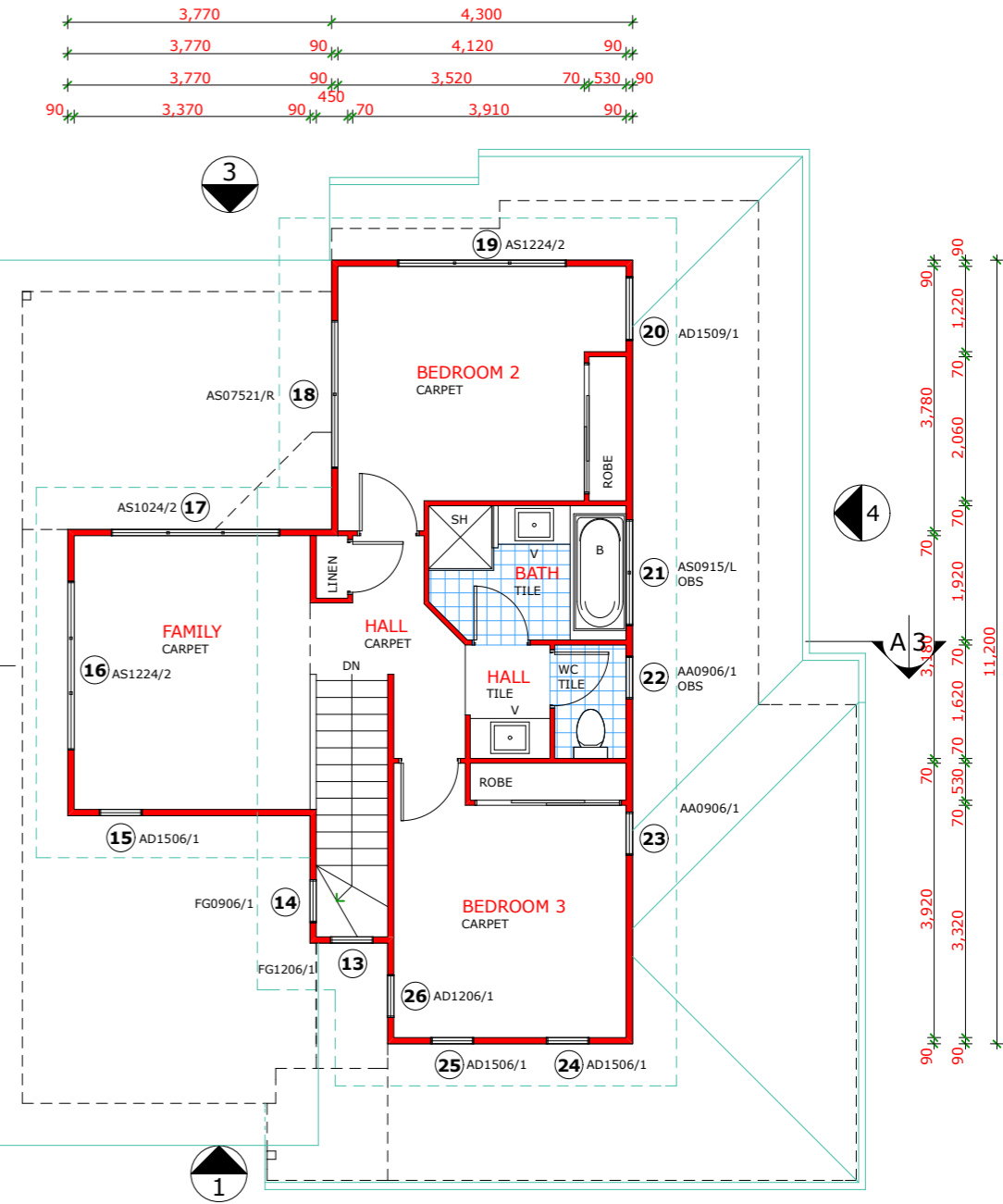
DWELLING BASIX REQUIREMENTS. REFER BASIX CERTIFICATE. NUMBER 1197070M FOR WATER, THERMAL COMFORT & ENERGY REQUIREMENTS. HOT WATER SYSTEM TO BE A SOLAR (ELECTRIC BOOSTED) SYSTEM. PERFORMANCE OF 31 TO 35 STC'S OR BETTER. THAT IS ELIGIBLE TO CREATE RENEWABLE ENERGY CERTIFICATES UNDER RENEWABLE ENERGY REGULATIONS 2001. (AMENDMENT REGULATIONS 2005 No 2).

ROOF INSULATION PROVIDE 60MM REFLECTIVE FOIL BLANKET. TO UNDERSIDE OF ROOF SHEETING THROUGHOUT. MIN. R3.5 INSULATION TO CEILINGS MIN. R2.0 INSULATION BETWEEN GARAGE & FLOOR ABOVE MIN. R2.5 INSULATION OVER RAKING CEILINGS

EXTERNAL WALL INSULATION. MIN R2.5 90MM BULK INSULATION TO ALL TIMBER FRAME EXTERNAL WALLS. INTERNAL WALL INSULATION. MIN R2.0 90MM BULK INSULATION BETWEEN GARAGE & LIVING AREAS.

ALL SHOWERHEADS TO HAVE A MINIMUM 3 STAR RATING. (>7.5 but <=9 L/Min) ALL TOILETS TO HAVE A MINIMUM 3 STAR RATING. AND BE DUAL FLUSH. SINK AND BASIN TAPS TO HAVE A MINIMUM 3 STAR RATING.

EXTERNAL COLOUR SCHEME ROOF SHEETING. COLORBOND. MEDIUM COLOUR. CEILING FANS TO A MINIMUM OF 1 LIVING AREA AND 1 BEDROOM WINDOWS, DOORS TO BE IN ACCORDANCE WITH THERMAL COMFORT COMMITMENTS. BASIX CERTIFICATE NUMBER 1197070M.



FIRST FLOOR PLAN. SCALE 1 : 100

AREA SCHEDULE

FAMILY	3.370	1.020	1.020	1.140	1.020	90
90	3.370	90	1.020	90	2.230	90
90	3.370	1.020	90	3.320	90	
90	3.550	1.020	90	3.320	90	
90	3.460	1.110	3.500			
90	8.070					

UPDATED DRAWING SUBMITTED 8/9/21

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

FOR. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

Mr J. & Mrs G. Mills.

Design & Documentation by Douglas Cope. QBSA Licence No. 1037753 ABN. 86 86 11 73 484

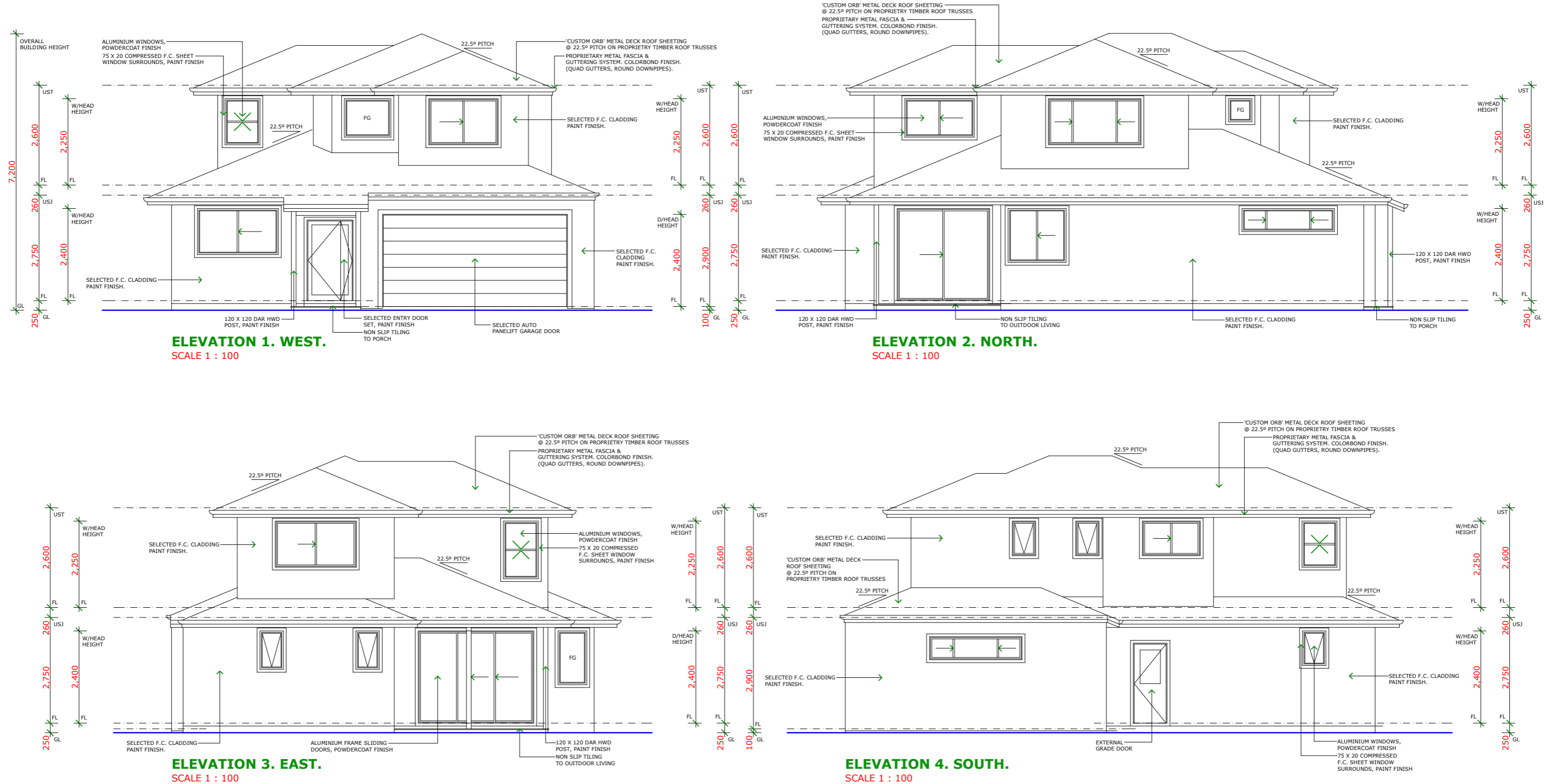
All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing. Use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

DATE. APR, 21 DRAWN. D.C. PROJECT No. **B1161** DWG No. **D8/1 A**


SCALE. 1 : 100

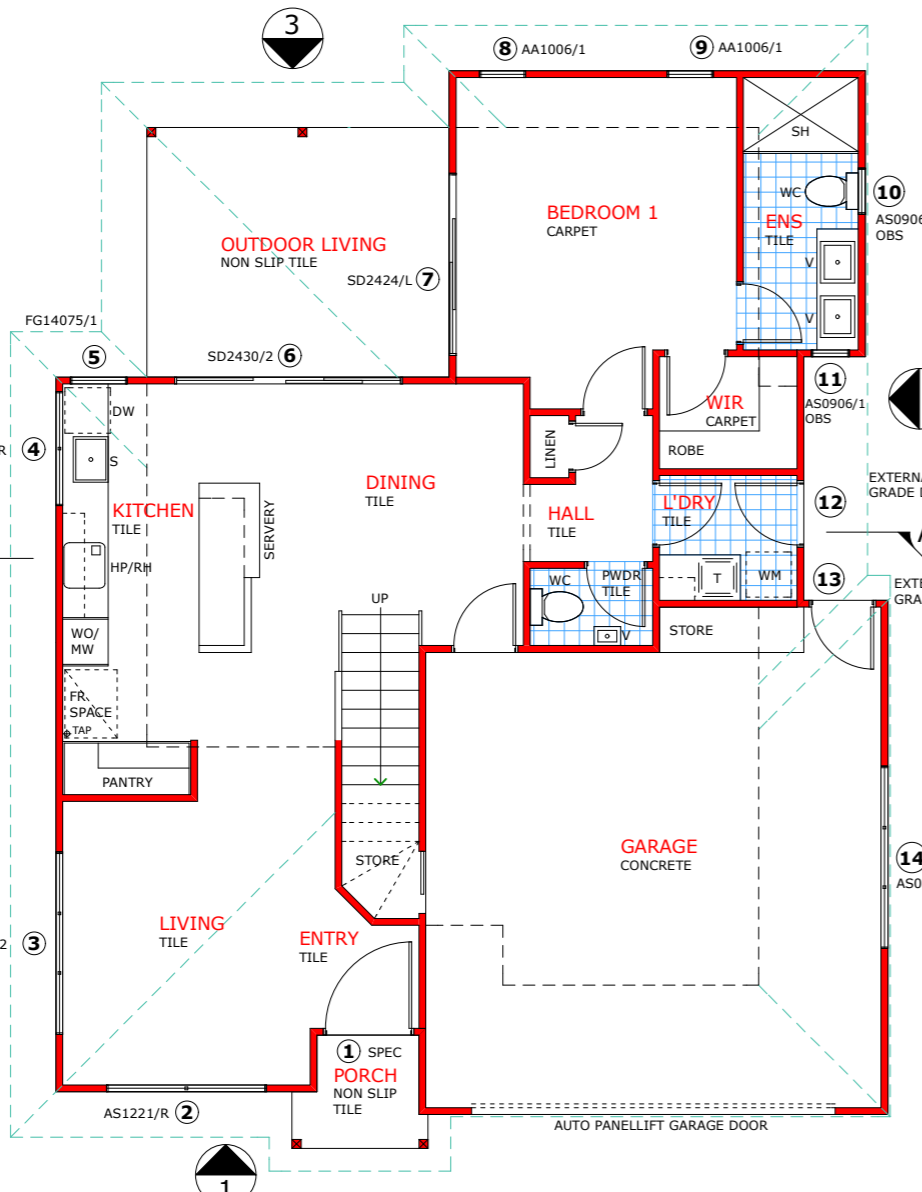
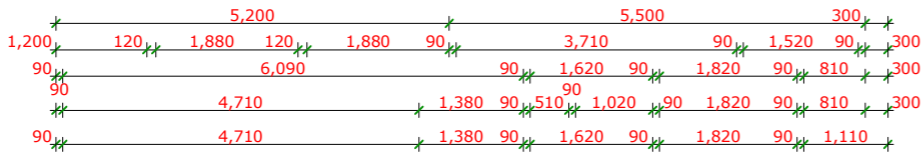
prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222, QBSA Licence No. 1037753.

49 Kingsley Lane
Byron Bay NSW 2481
Ppdc
Mob. 0401 000126
Email doug@ppdc.com.au



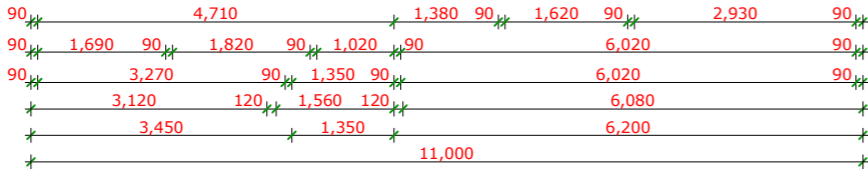
DWELLING 9
ELEVATIONS
SCALE 1 : 100

AMENDMENTS.				PROJECT. PROPOSED NEW UNIT DEVELOPMENT. AT. Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW. FOR. Mr J. & Mrs G. Mills.	Design & Documentation by Douglas Cope. QBSA Licence No. 1037753 ABN. 86 86 11 73 484 All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions & levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope. <div>DATE. APR, 21 DRAWN. D.C. SCALE. 1 : 100</div> <div>DRAWING TITLE. ELEVATIONS. PROJECT No. B1161 DWG No. D9/2 A</div>	<div><p>49 Kingsley Lane Byron Bay NSW 2481 Mob. 0401 000126 Email doug@ppdc.com.au</p><p>prestige properties design & construction Development Consultants/Architectural Designers RAIA 25222, QBSA Licence No. 1037753.</p></div>
AMEND.	DATE.	INT.	DESCRIPTION.			
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.			



GROUND FLOOR PLAN.

SCALE 1 : 100



AREA SCHEDULE

GROUND FLOOR LIVING	84.2m2
GARAGE	39.4
PORCH	2.3
OUTDOOR LIVING	13.2
FIRST FLOOR LIVING	70.6m2

TOTAL AREA 209.7m2

DWELLING 9
FLOOR PLANS

SCALE 1 : 100

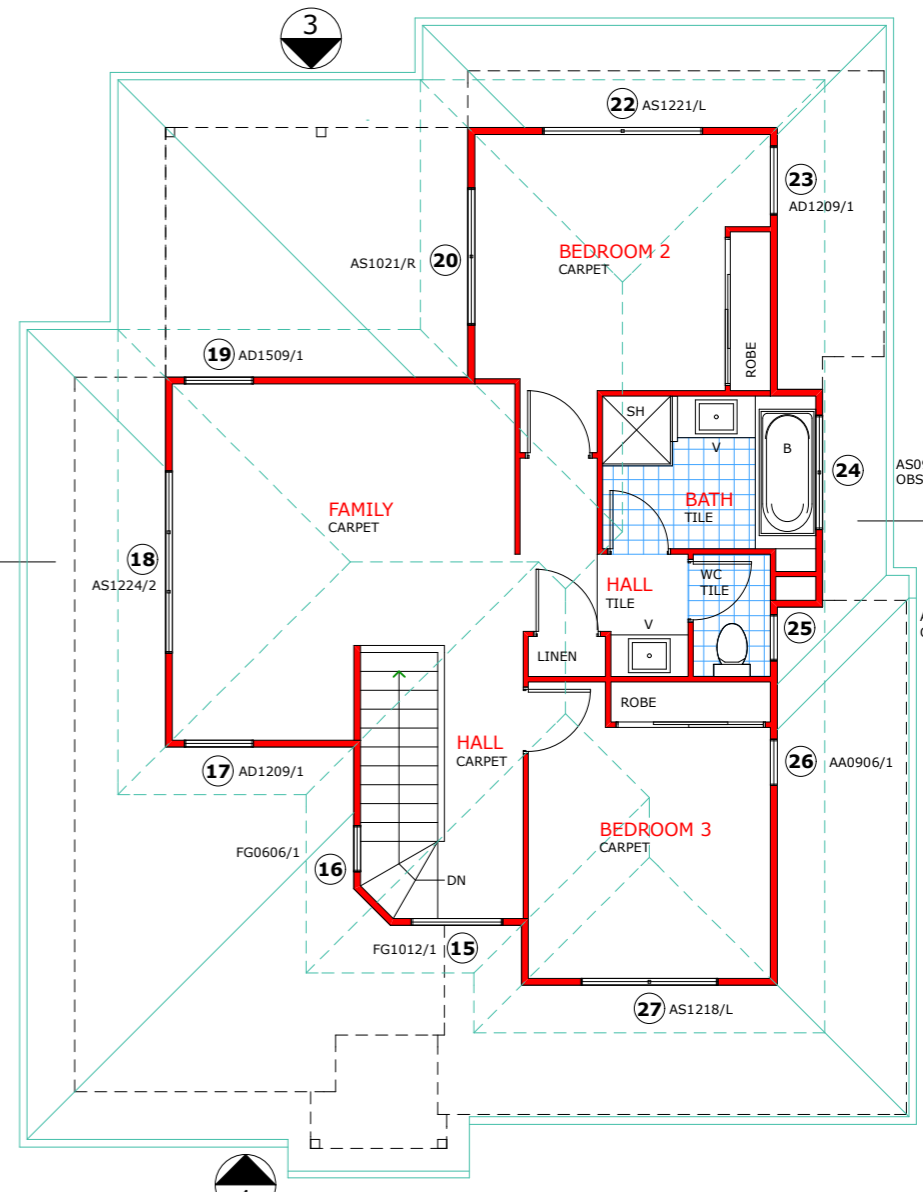
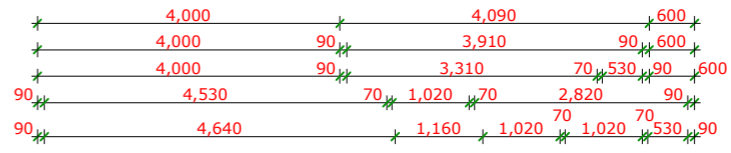
AREA SCHEDULE.
FLOOR SPACE RATIO.

MEASURED TO THE INSIDE
FACE OF THE EXTERNAL WALLS.
NOT INCLUDING CARPARKING REQUIREMENTS,
AREA FOR VERTICAL CIRCULATION. (STAIRS).
TERRACES & BALCONIES WITH OUTER
WALLS LESS THAN 1.4 METRES HIGH.
GROUND FLOOR LIVING 80.9m2
FIRST FLOOR LIVING 63.4m2

TOTAL AREA 144.3m2

DWELLING BASIX REQUIREMENTS.

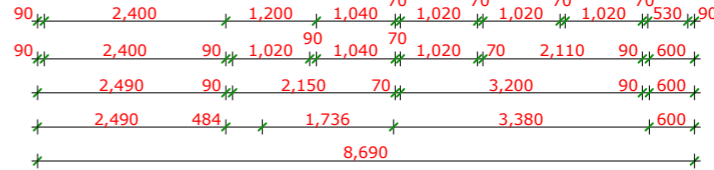
REFER BASIX CERTIFICATE. NUMBER 1197070M FOR WATER,
THERMAL COMFORT & ENERGY REQUIREMENTS.
HOT WATER SYSTEM TO BE A SOLAR (ELECTRIC BOOSTED) SYSTEM.
PERFORMANCE OF 31 TO 35 STC'S OR BETTER.
THAT IS ELIGIBLE TO CREATE RENEWABLE ENERGY CERTIFICATES
UNDER RENEWABLE ENERGY REGULATIONS 2001.
(AMENDMENT REGULATIONS 2005 No 2).
ROOF INSULATION
PROVIDE 60MM REFLECTIVE FOIL BLANKET.
TO UNDERSIDE OF ROOF SHEETING THROUGHOUT.
MIN. R3.5 INSULATION TO CEILINGS
MIN. R2.0 INSULATION BETWEEN GARAGE & FLOOR ABOVE
EXTERNAL WALL INSULATION.
MIN R2.5 90MM BULK INSULATION TO ALL TIMBER FRAME EXTERNAL WALLS.
INTERNAL WALL INSULATION.
MIN R2.0 90MM BULK INSULATION BETWEEN GARAGE & LIVING AREAS.
ALL SHOWERHEADS TO HAVE A MINIMUM 3 STAR RATING.
(>7.5 but <=9 L/Min)
ALL TOILETS TO HAVE A MINIMUM 3 STAR RATING.
AND BE DUAL FLUSH.
SINK AND BASIN TAPS TO HAVE A MINIMUM 3 STAR RATING.
EXTERNAL COLOUR SCHEME
ROOF SHEETING. COLORBOND. MEDIUM COLOUR.
CEILING FANS TO A MINIMUM OF 1 LIVING AREA AND 1 BEDROOM
WINDOWS, DOORS TO BE IN ACCORDANCE WITH
THERMAL COMFORT COMMITMENTS. BASIX CERTIFICATE NUMBER 1197070M.



FIRST FLOOR PLAN.

SCALE 1 : 100

NOTE.
ALL FIRST FLOOR WINDOWS TO BE IN ACCORDANCE WITH
BCA. VOLUME 2. CLAUSE 3.9.2.5. PROTECTION OF OPENABLE WINDOWS.
LOUVRE AND AWNING WINDOWS OPENABLE PORTION TO BE PROTECTED WITH.
(A). A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENING.
(B). A SCREEN WITH SECURE FITTINGS.



PROJECT.

PROPOSED NEW UNIT DEVELOPMENT.

Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.

FOR.

Mr J. & Mrs G. Mills.

Design & Documentation by Douglas Cope. QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the
Building Code of Australia. Do Not Scale this Drawing, use given dimensions
in preference. All dimensions and levels are to be confirmed Onsite. These
drawings and the COPYRIGHT thereof are the property of Douglas Cope and
must not be used or reproduced without the written permission of Douglas
Cope. Professional Indemnity Insurance held individually by Douglas Cope.

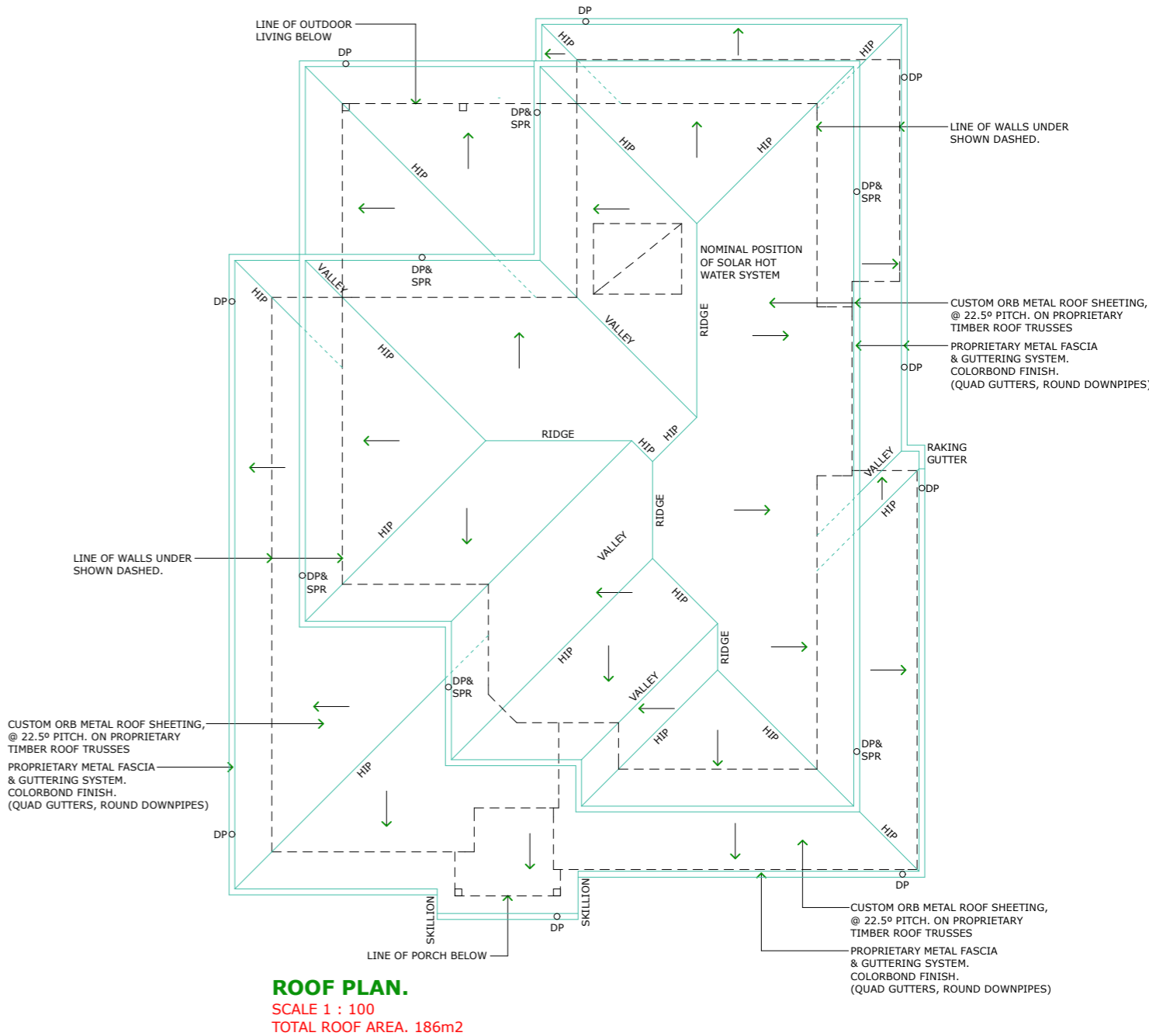
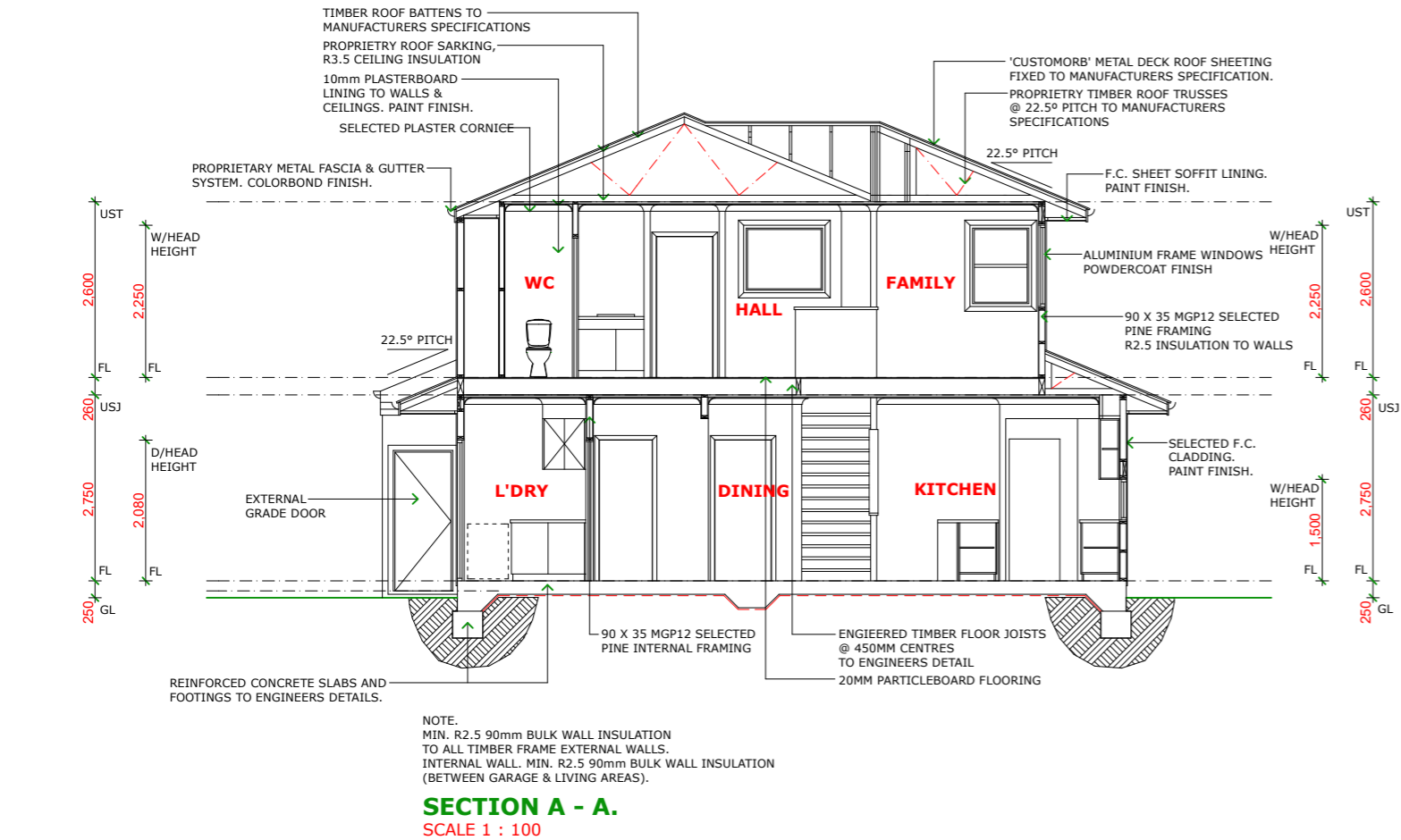
DATE. APR, 21
DRAWN. D.C.
SCALE. 1 : 100
DRAWING TITLE. FLOOR PLANS.
PROJECT No. B1161
DWG No. D9/1 A

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc

Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.



NOTE.
ALL DOWNPIPES TO BE CONNECTED TO
ON-SITE STORMWATER DRAINAGE SYSTEM.
REFER TO ENGINEERS DETAILS FOR NOMINAL LOCATIONS.

DWELLING 9

CONSTRUCTION SECTION, ROOF PLAN

SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

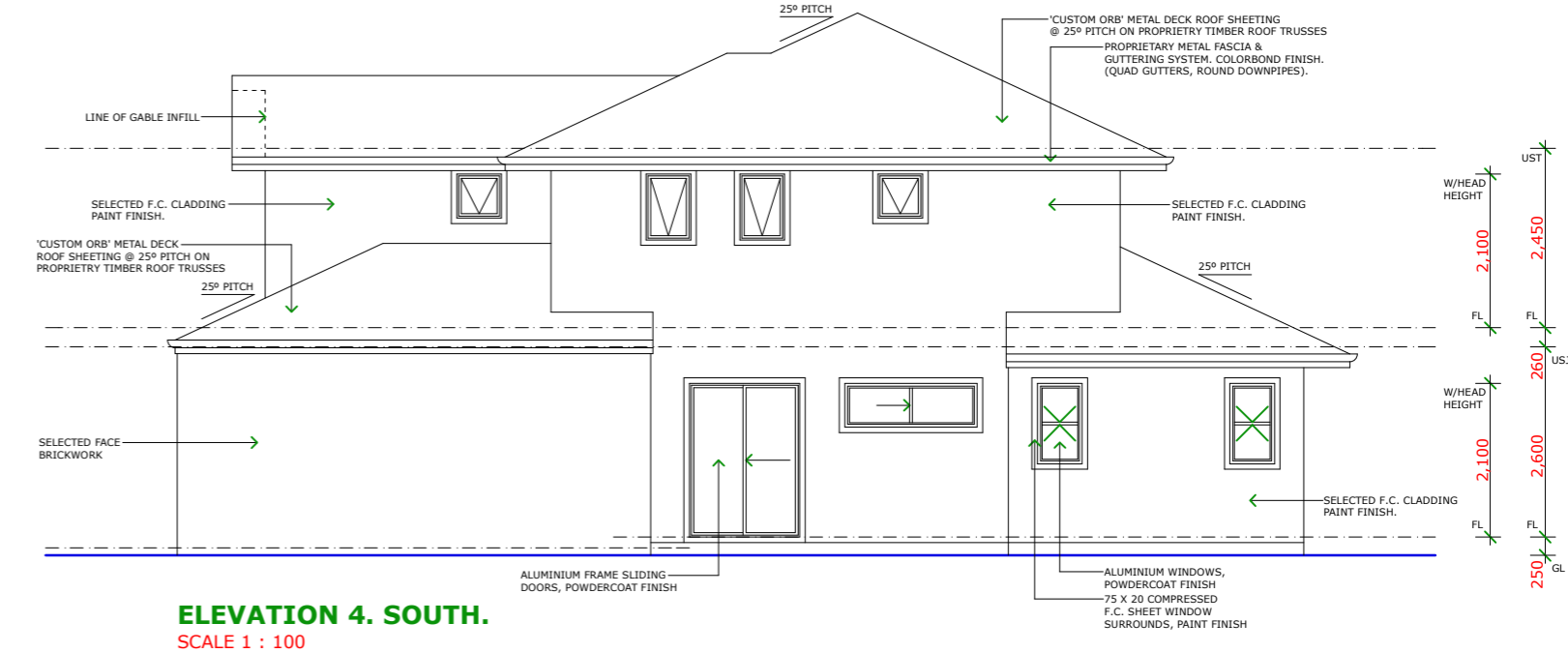
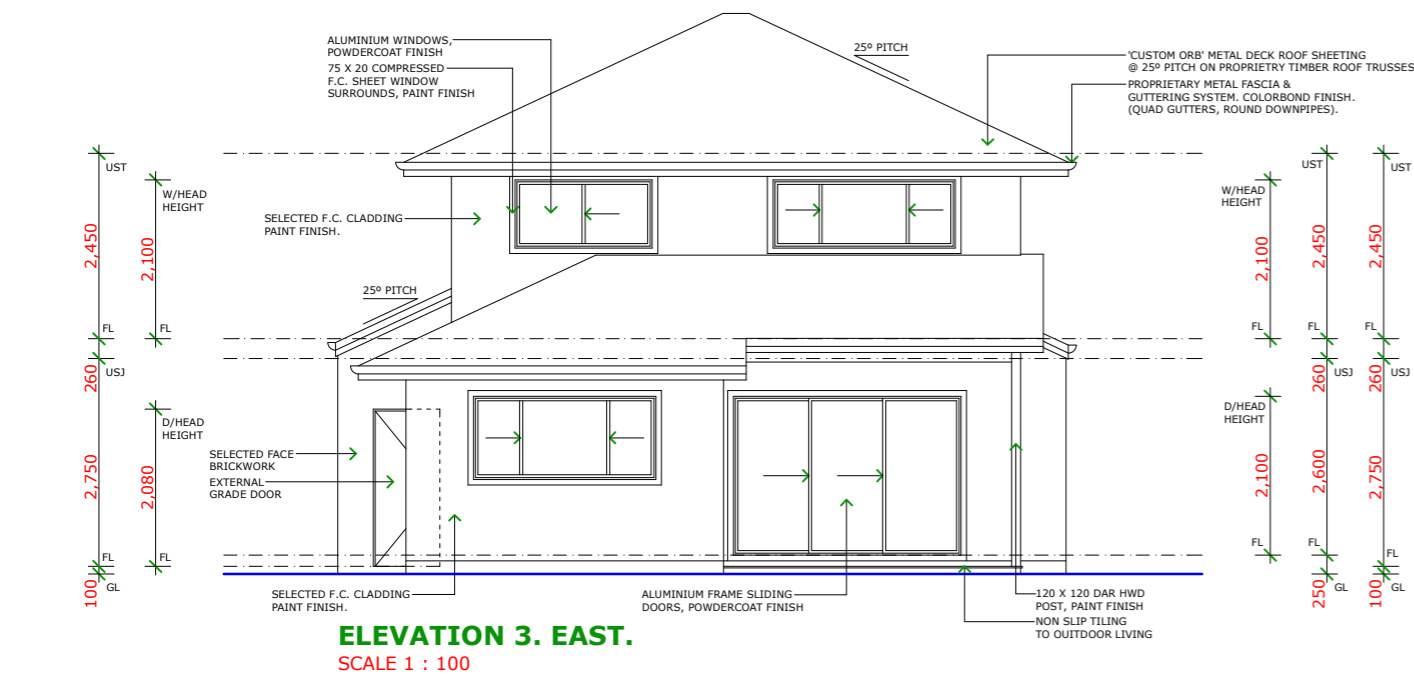
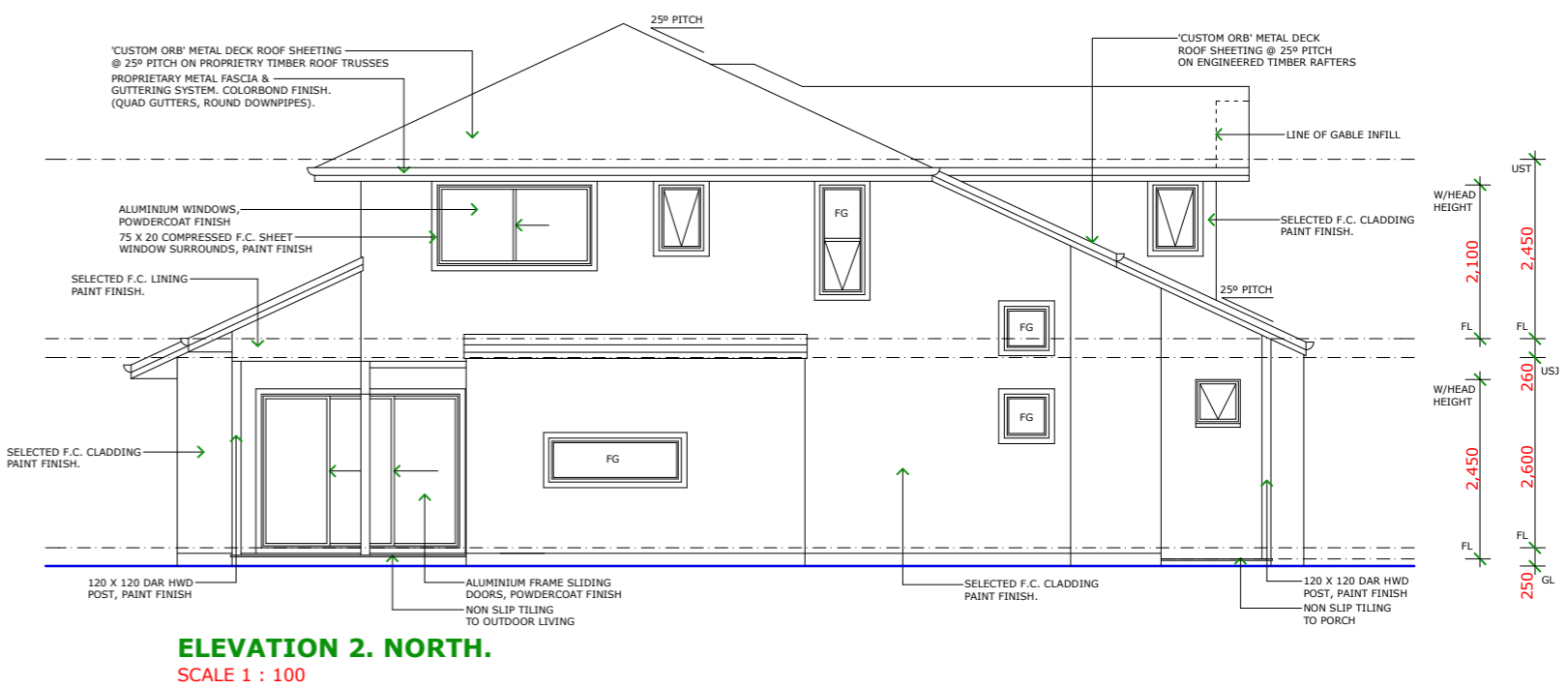
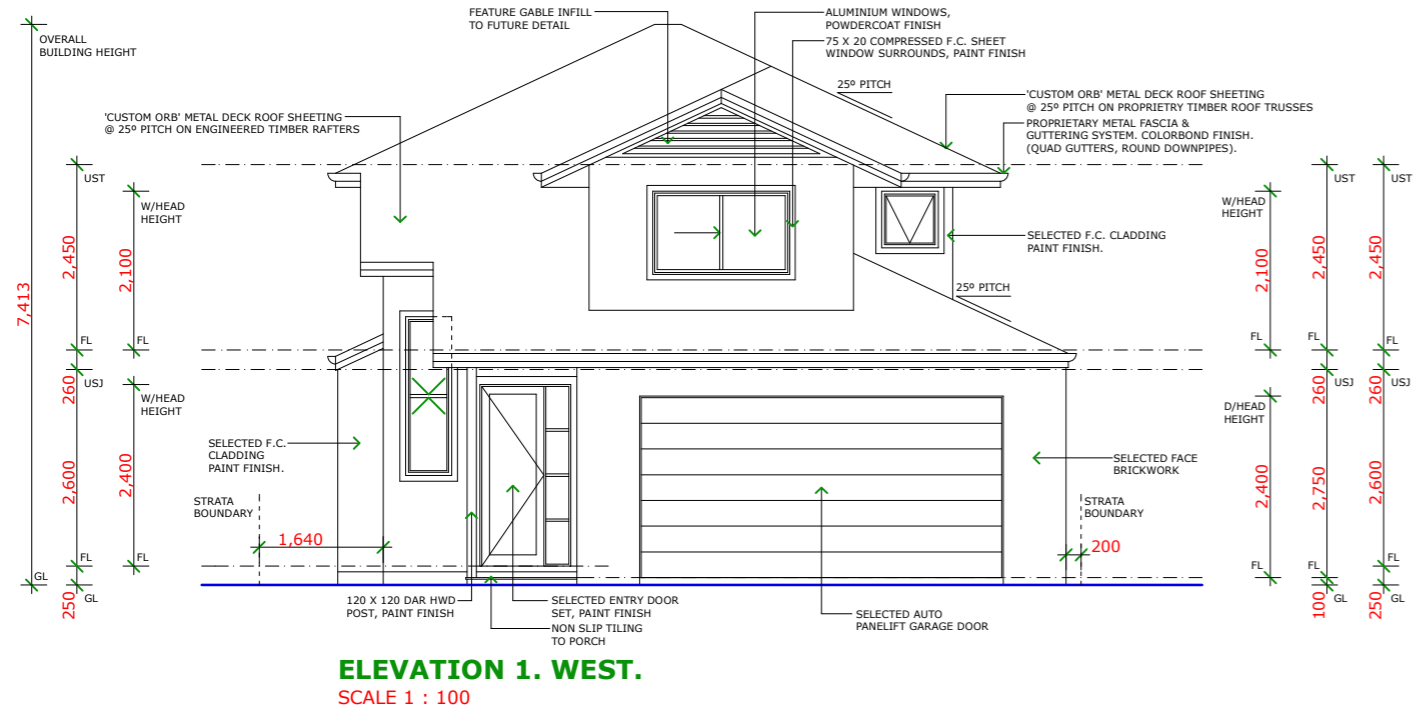
Design & Documentation by Douglas Cope. QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

DATE. APR, 21
DRAWN. D.C.
SCALE. 1 : 100

DRAWING TITLE. **CONST. SECTION, ROOF PLAN.**
PROJECT No. **B1161** DWG No. **D9/3 A**

Ppdc
49 Kingsley Lane
Byron Bay NSW 2481
Mob. 0401 000126
Email doug@ppdc.com.au
prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.



DWELLING 10
ELEVATIONS
SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

Design & Documentation by Douglas Cope. QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

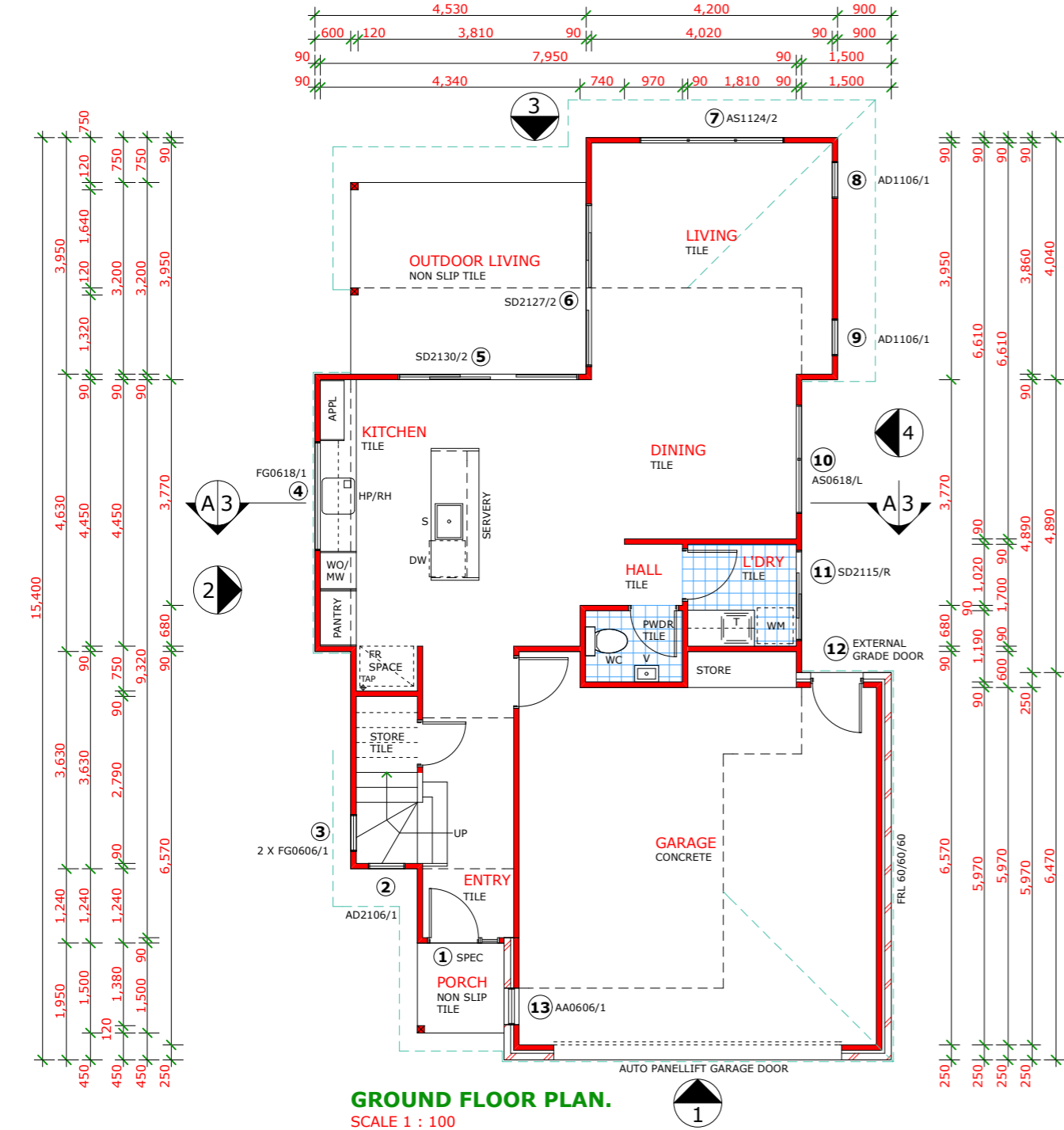
DATE. APR, 21
DRAWN. D.C.
SCALE. 1 : 100

DRAWING TITLE. **ELEVATIONS.**
PROJECT No. **B1161** DWG No. **D10/2**

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc
Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222, QBSA Licence No. 1037753.



AREA SCHEDULE

GROUND FLOOR LIVING	67.7m2
GARAGE	41.3
PORCH	2.2
OUTDOOR LIVING	12.6
FIRST FLOOR LIVING	77.5m2

TOTAL AREA 201.3m2

DWELLING 10
FLOOR PLANS

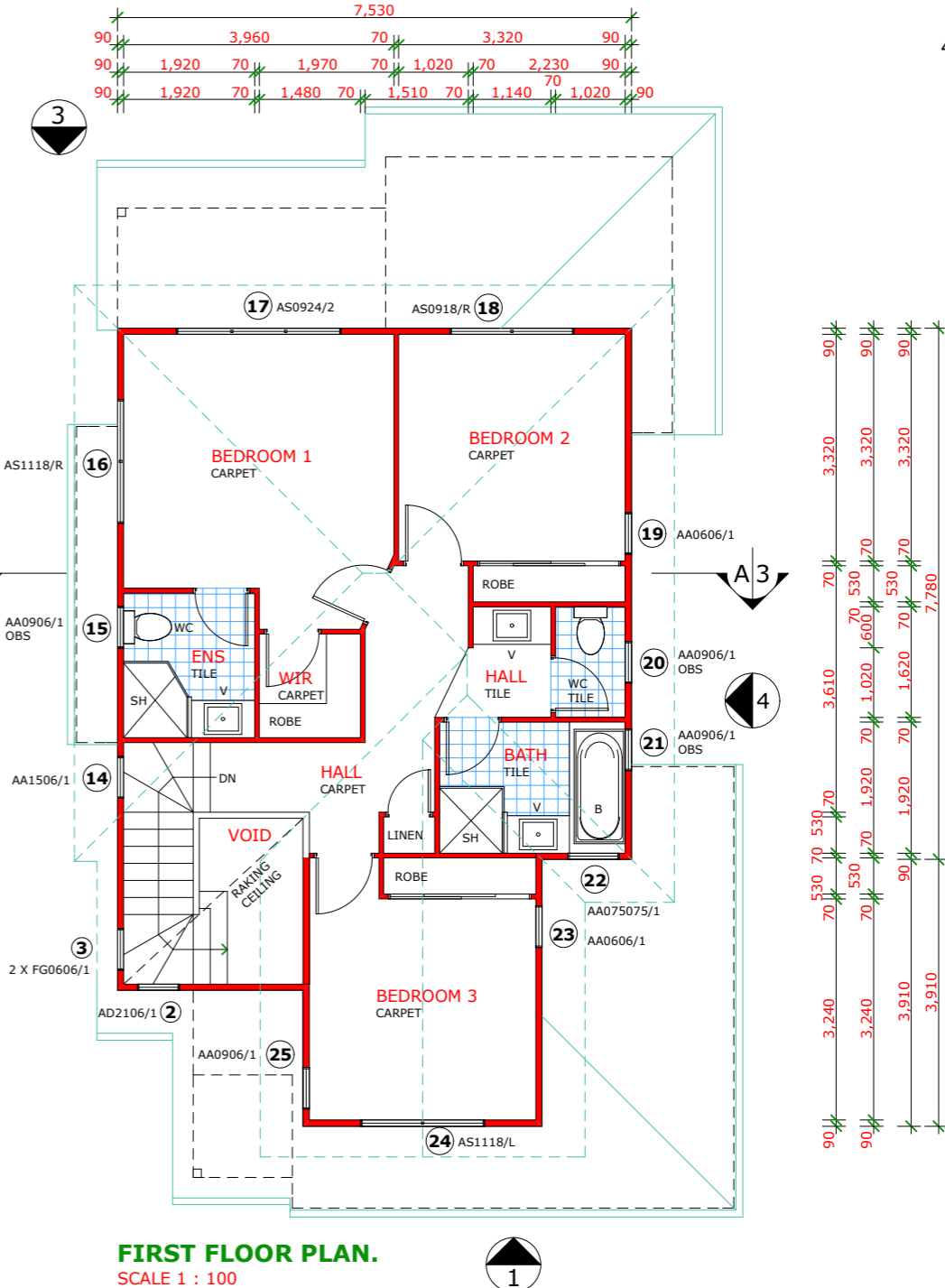
SCALE 1 : 100

AREA SCHEDULE.
FLOOR SPACE RATIO.

MEASURED TO THE INSIDE FACE OF THE EXTERNAL WALLS. NOT INCLUDING CARPARKING REQUIREMENTS, AREA FOR VERTICAL CIRCULATION. (STAIRS). TERRACES & BALCONIES WITH OUTER WALLS LESS THAN 1.4 METRES HIGH.	
GROUND FLOOR LIVING	64.6m2
FIRST FLOOR LIVING	66.3m2

TOTAL AREA 130.9m2

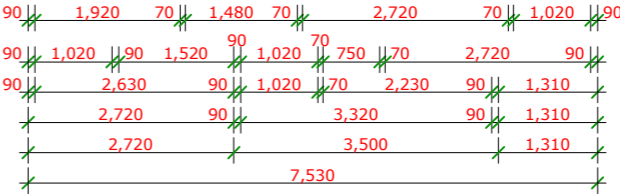
DWELLING BASIX REQUIREMENTS.
REFER BASIX CERTIFICATE. NUMBER 1197070M FOR WATER,
THERMAL COMFORT & ENERGY REQUIREMENTS.
HOT WATER SYSTEM TO BE A SOLAR (ELECTRIC BOOSTED) SYSTEM.
PERFORMANCE OF 31 TO 35 STC'S OR BETTER.
THAT IS ELIGIBLE TO CREATE RENEWABLE ENERGY CERTIFICATES
UNDER RENEWABLE ENERGY REGULATIONS 2001.
(AMENDMENT REGULATIONS 2005 No 2).
ROOF INSULATION
PROVIDE 60MM REFLECTIVE FOIL BLANKET.
TO UNDERSIDE OF ROOF SHEETING THROUGHOUT.
MIN. R3.5 INSULATION TO CEILINGS
MIN. R2.0 INSULATION BETWEEN GARAGE & FLOOR ABOVE
MIN. R2.5 INSULATION OVER RAKING CEILINGS
EXTERNAL WALL INSULATION.
MIN R2.5 90MM BULK INSULATION TO ALL TIMBER FRAME EXTERNAL WALLS.
INTERNAL WALL INSULATION.
MIN R2.0 90MM BULK INSULATION BETWEEN GARAGE & LIVING AREAS.
ALL SHOWERHEADS TO HAVE A MINIMUM 3 STAR RATING.
(>7.5 but <=9 L/Min)
ALL TOILETS TO HAVE A MINIMUM 3 STAR RATING.
AND BE DUAL FLUSH.
SINK AND BASIN TAPS TO HAVE A MINIMUM 3 STAR RATING.
EXTERNAL COLOUR SCHEME
ROOF SHEETING. COLORBOND. MEDIUM COLOUR.
CEILING FANS TO A MINIMUM OF 1 LIVING AREA AND 1 BEDROOM
WINDOWS, DOORS TO BE IN ACCORDANCE WITH
THERMAL COMFORT COMMITMENTS. BASIX CERTIFICATE NUMBER 1197070M.



FIRST FLOOR PLAN.

SCALE 1 : 100

NOTE.
ALL FIRST FLOOR WINDOWS TO BE IN ACCORDANCE WITH
BCA. VOLUME 2. CLAUSE 3.9.2.5. PROTECTION OF OPENABLE WINDOWS.
LOUVRE AND AWNING WINDOWS OPENABLE PORTION TO BE PROTECTED WITH.
(A). A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENING.
(B). A SCREEN WITH SECURE FITTINGS.



AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

Design & Documentation by Douglas Cope. QBSA Licence No. 1037753 ABN. 86 86 11 73 484			
All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.			
DATE. APR, 21	DRAWING TITLE. FLOOR PLANS.	PROJECT No.	DWG No.
DRAWN. D.C.	PROJECT No.	B1161	D10/1
SCALE. 1 : 100			

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc

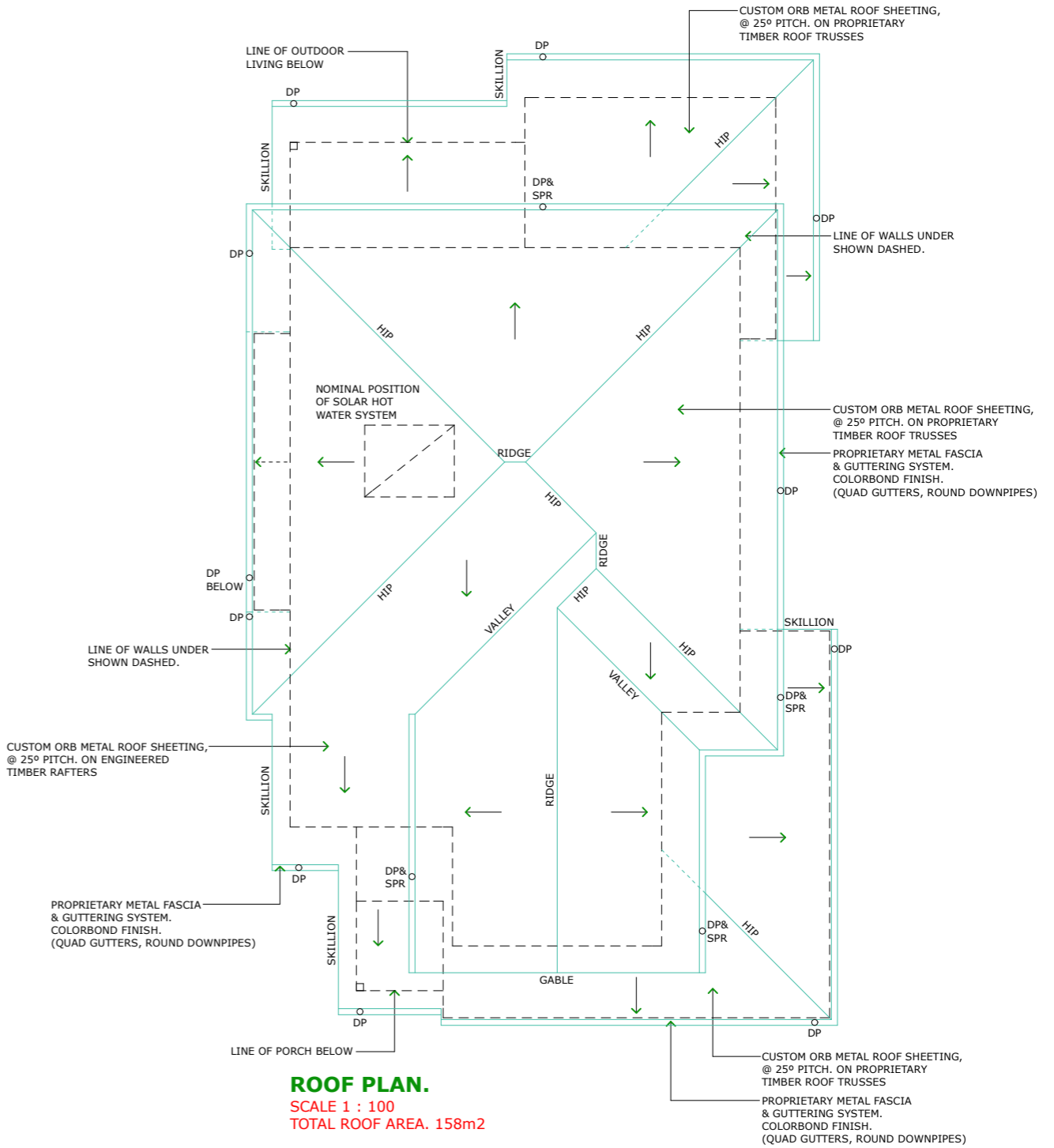
Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.

SCALE 1 : 100

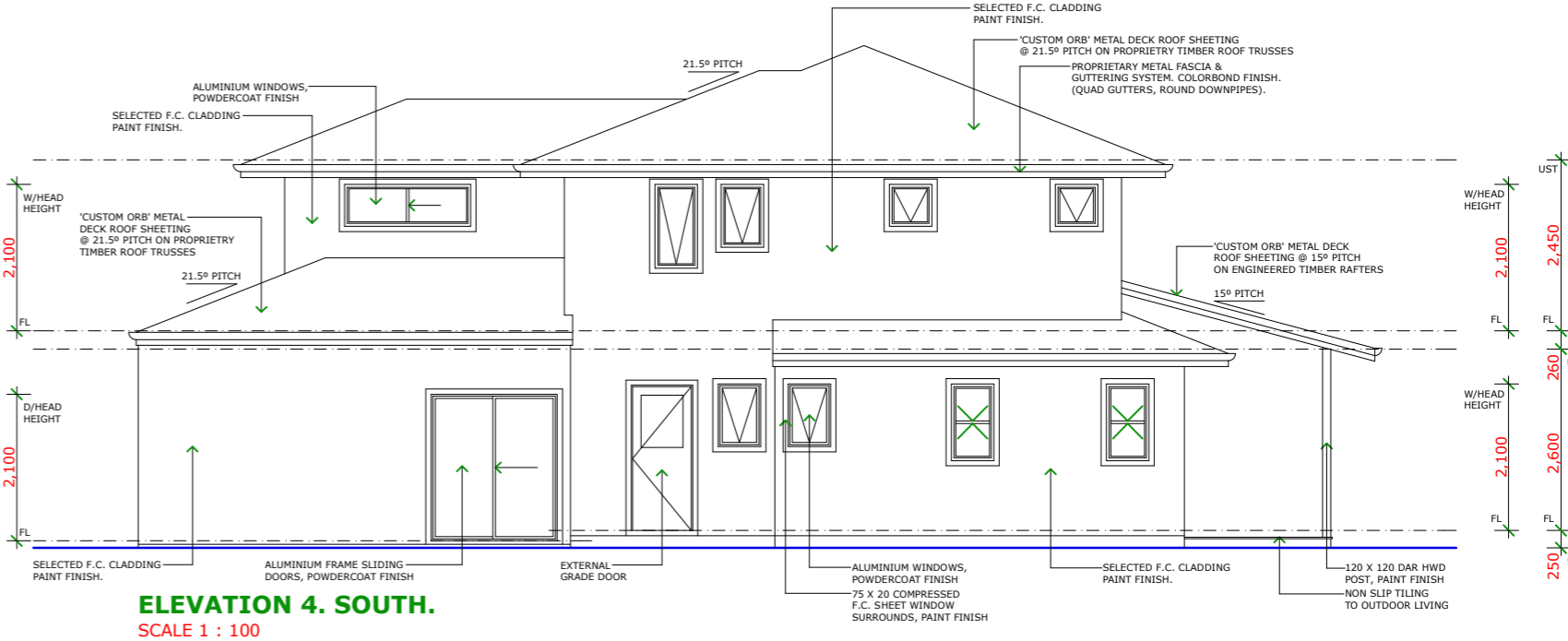
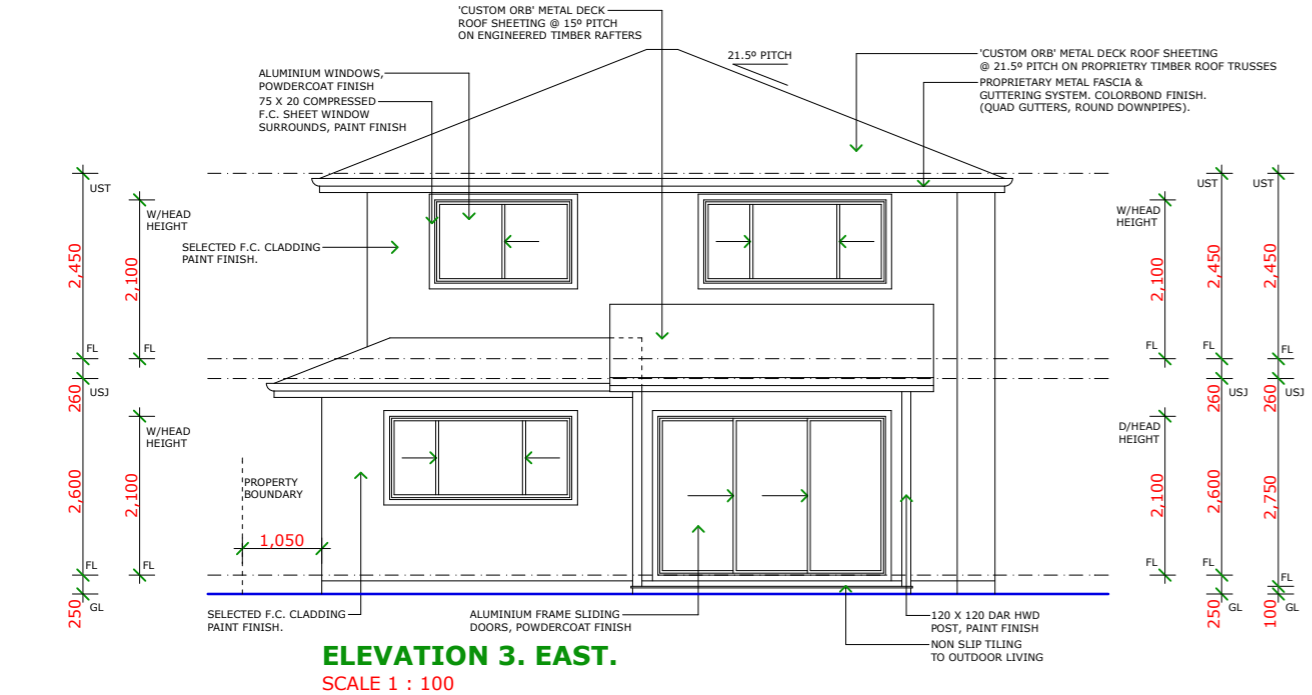
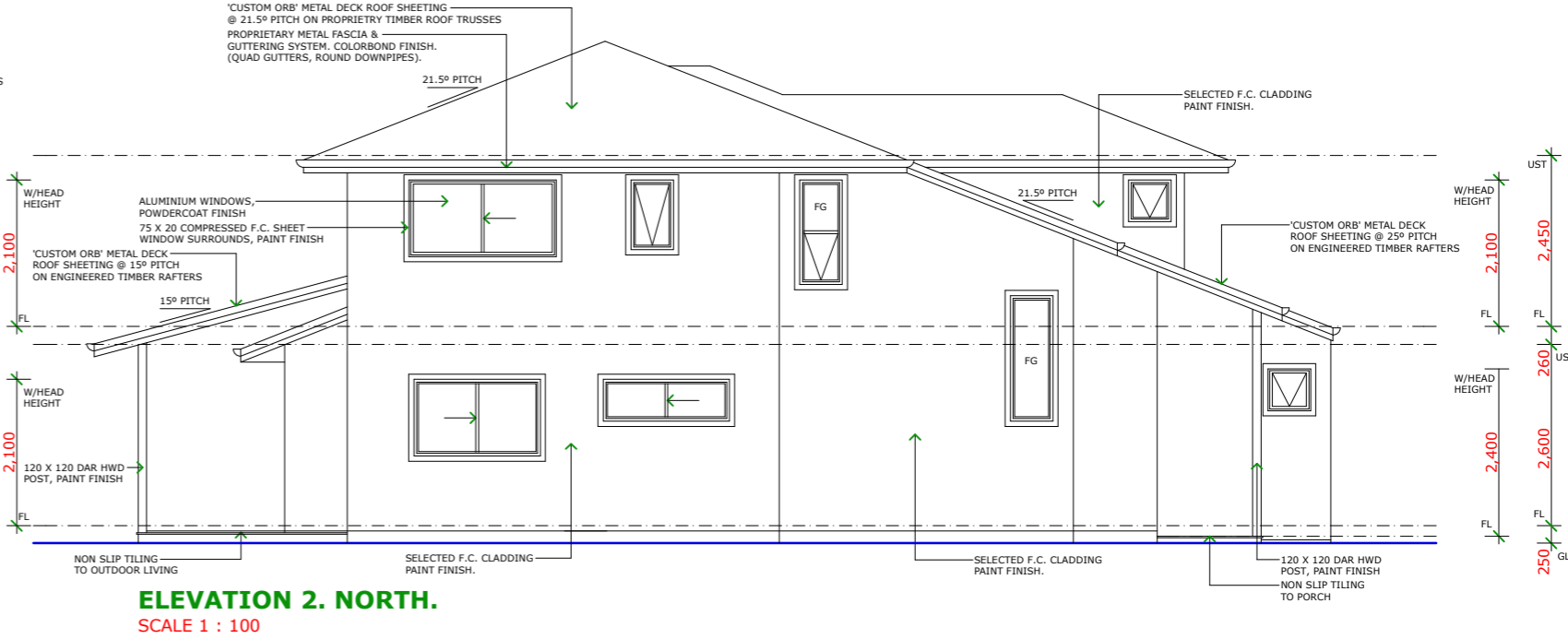
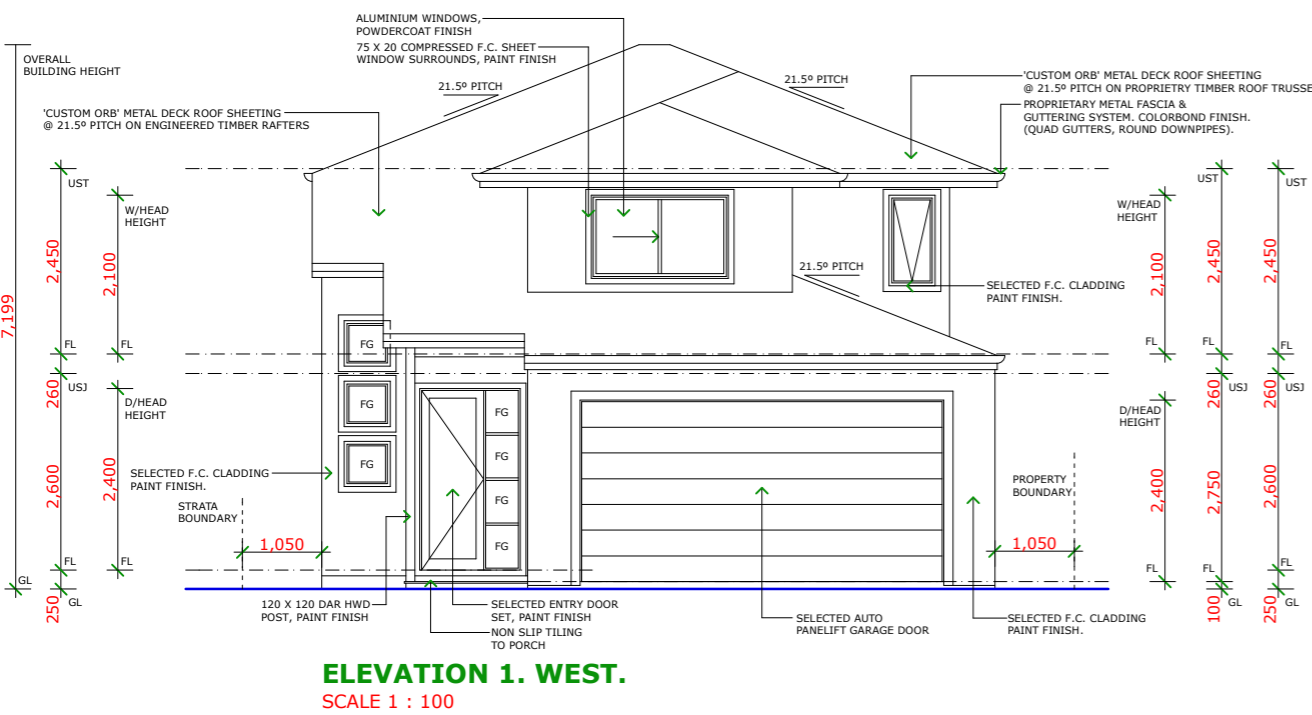
[illegible]

Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.
FOR.
Mr J. & Mrs G. Mills.



Design & Documentation by Douglas Cope.		QBSA Licence No. 1037753 ABN. 86 86 173 484	
All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.			
DATE. APR. 21 DRAWN. D.C. SCALE. 1 : 100	DRAWING TITLE. CONST. SECTION, ROOF PLAN. PROJECT No. B1161 DWG No. D10/3A		

ppdc 49 Kingsley Lane
Byron Bay NSW 2481
Mob. 0401 000126
Email doug@ppdc.com.au
prestige properties design & construction
Development Consultants|Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.



DWELLING 11
ELEVATIONS
SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

Design & Documentation by Douglas Cope. QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

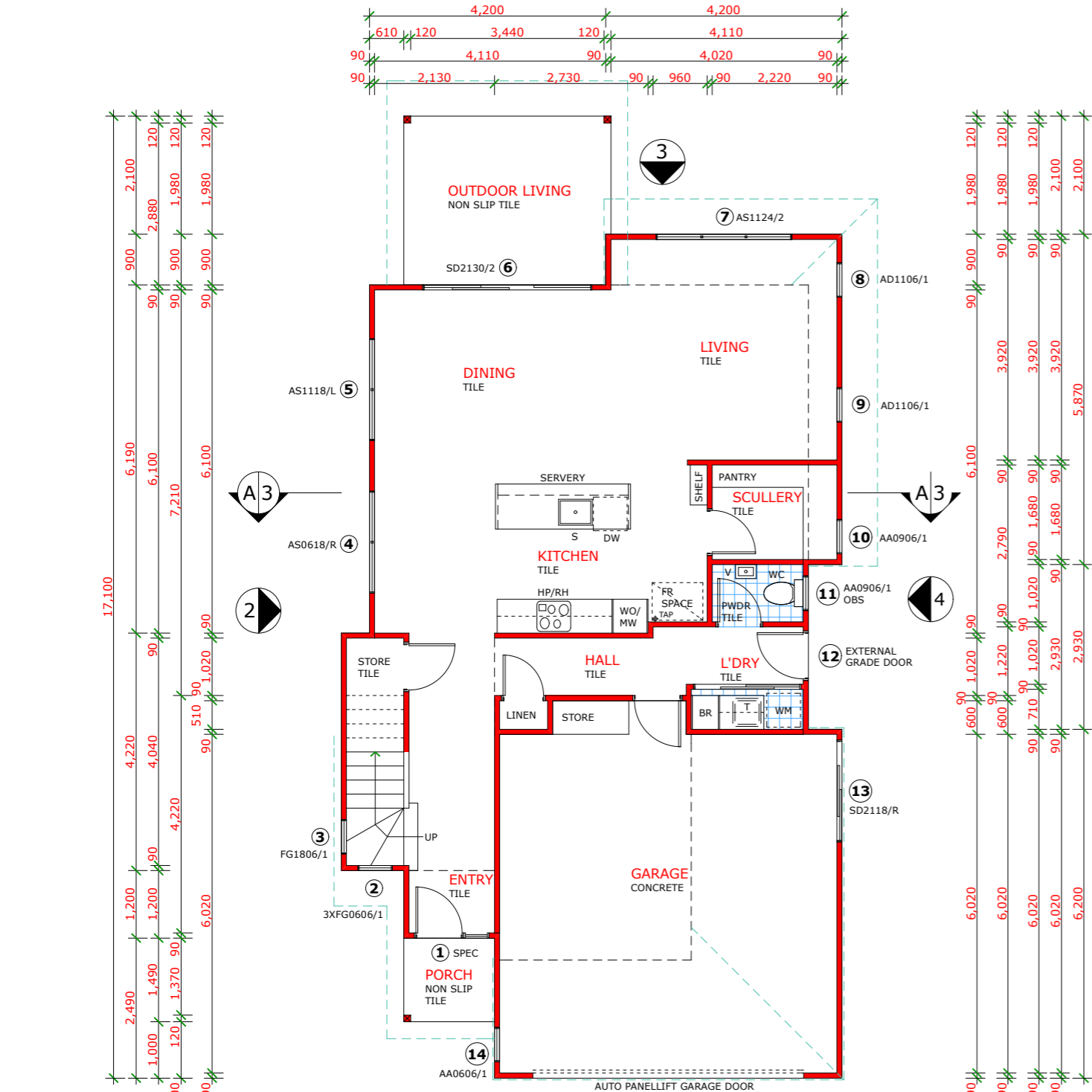
DATE. APR, 21
DRAWN. D.C.
SCALE. 1 : 100

DRAWING TITLE. **ELEVATIONS.**
PROJECT No. **B1161** DWG No. **D11/2A**

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc
Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222, QBSA Licence No. 1037753.



AREA SCHEDULE	
GROUND FLOOR LIVING	77.4m2
GARAGE	38.9
PORCH	2.4
OUTDOOR LIVING	11.0
FIRST FLOOR LIVING	83.8m2

DWELLING 11 FLOOR PLANS

SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

AREA SCHEDULE. FLOOR SPACE RATIO.

MEASURED TO THE INSIDE FACE OF THE EXTERNAL WALLS. NOT INCLUDING CARPARKING REQUIREMENTS, AREA FOR VERTICAL CIRCULATION. (STAIRS). TERRACES & BALCONIES WITH OUTER WALLS LESS THAN 1.4 METRES HIGH.	
GROUND FLOOR LIVING	74.4m2
FIRST FLOOR LIVING	71.4m2
TOTAL AREA	145.8m2

DWELLING BASIX REQUIREMENTS.

REFER BASIX CERTIFICATE. NUMBER 1197070M FOR WATER, THERMAL COMFORT & ENERGY REQUIREMENTS.

HOT WATER SYSTEM TO BE A SOLAR (ELECTRIC BOOSTED) SYSTEM. PERFORMANCE OF 31 TO 35 STC'S OR BETTER.

THAT IS ELIGIBLE TO CREATE RENEWABLE ENERGY CERTIFICATES UNDER RENEWABLE ENERGY REGULATIONS 2001. (AMENDMENT REGULATIONS 2005 No 2).

ROOF INSULATION

PROVIDE 60MM REFLECTIVE FOIL BLANKET. TO UNDERSIDE OF ROOF SHEETING THROUGHOUT.

MIN. R3.5 INSULATION TO CEILINGS

MIN. R2.0 INSULATION BETWEEN GARAGE & FLOOR ABOVE

MIN. R2.5 INSULATION OVER RAKING CEILINGS

EXTERNAL WALL INSULATION.

MIN R2.5 90MM BULK INSULATION TO ALL TIMBER FRAME EXTERNAL WALLS.

EXTERNAL FLOOR. MIN. R1.0 EDGE SLAB PROTECTION.

INTERNAL WALL INSULATION.

MIN R2.0 90MM BULK INSULATION BETWEEN GARAGE & LIVING AREAS.

ALL SHOWERHEADS TO HAVE A MINIMUM 3 STAR RATING. (>7.5 but <=9 L/Min)

ALL TOILETS TO HAVE A MINIMUM 3 STAR RATING. AND BE DUAL FLUSH.

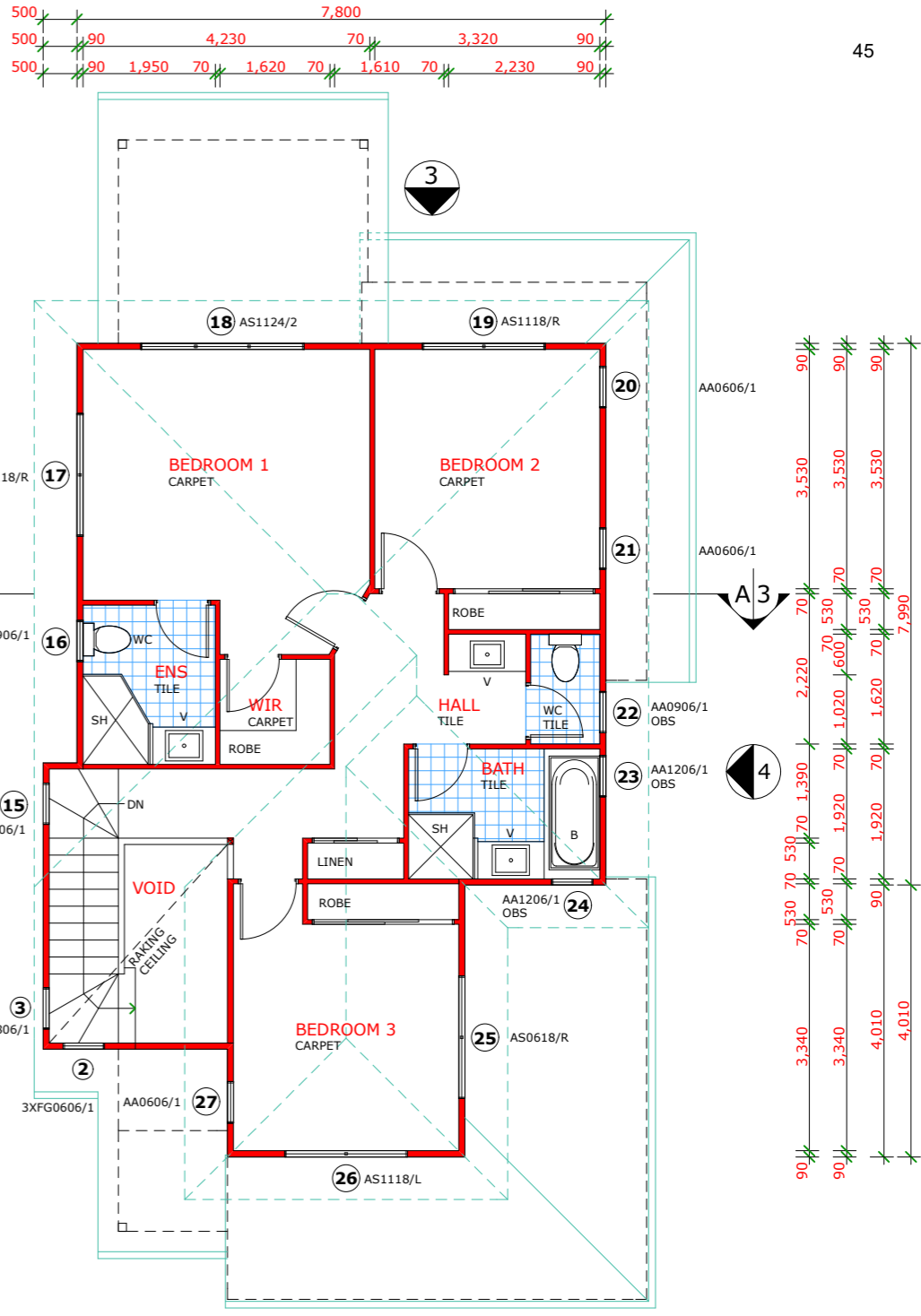
SINK AND BASIN TAPS TO HAVE A MINIMUM 3 STAR RATING.

EXTERNAL COLOUR SCHEME

ROOF SHEETING. COLORBOND. DARK COLOUR.

CEILING FANS TO A MINIMUM OF 1 LIVING AREA AND 1 BEDROOM

WINDOWS, DOORS TO BE IN ACCORDANCE WITH THERMAL COMFORT COMMITMENTS. BASIX CERTIFICATE NUMBER 1197070M.



FIRST FLOOR PLAN.

SCALE 1 : 100

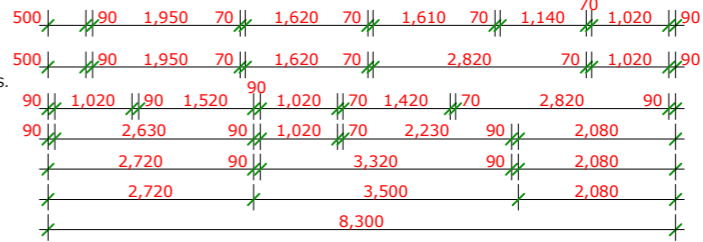
NOTE.

ALL FIRST FLOOR WINDOWS TO BE IN ACCORDANCE WITH BCA, VOLUME 2. CLAUSE 3.9.2.5. PROTECTION OF OPENABLE WINDOWS.

LOUVRE AND AWNING WINDOWS OPENABLE PORTION TO BE PROTECTED WITH.

(A). A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENING.

(B). A SCREEN WITH SECURE FITTINGS.



PROJECT.

PROPOSED NEW UNIT DEVELOPMENT.

Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.

FOR.

Mr J. & Mrs G. Mills.

Design & Documentation by Douglas Cope.		QBSA Licence No. 1037753 ABN. 86 86 11 73 484
All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.		
DATE.	APR, 21	DRAWING TITLE. FLOOR PLANS.
DRAWN.	D.C.	PROJECT No. B1161 DWG No. D11/1
SCALE.	1 : 100	

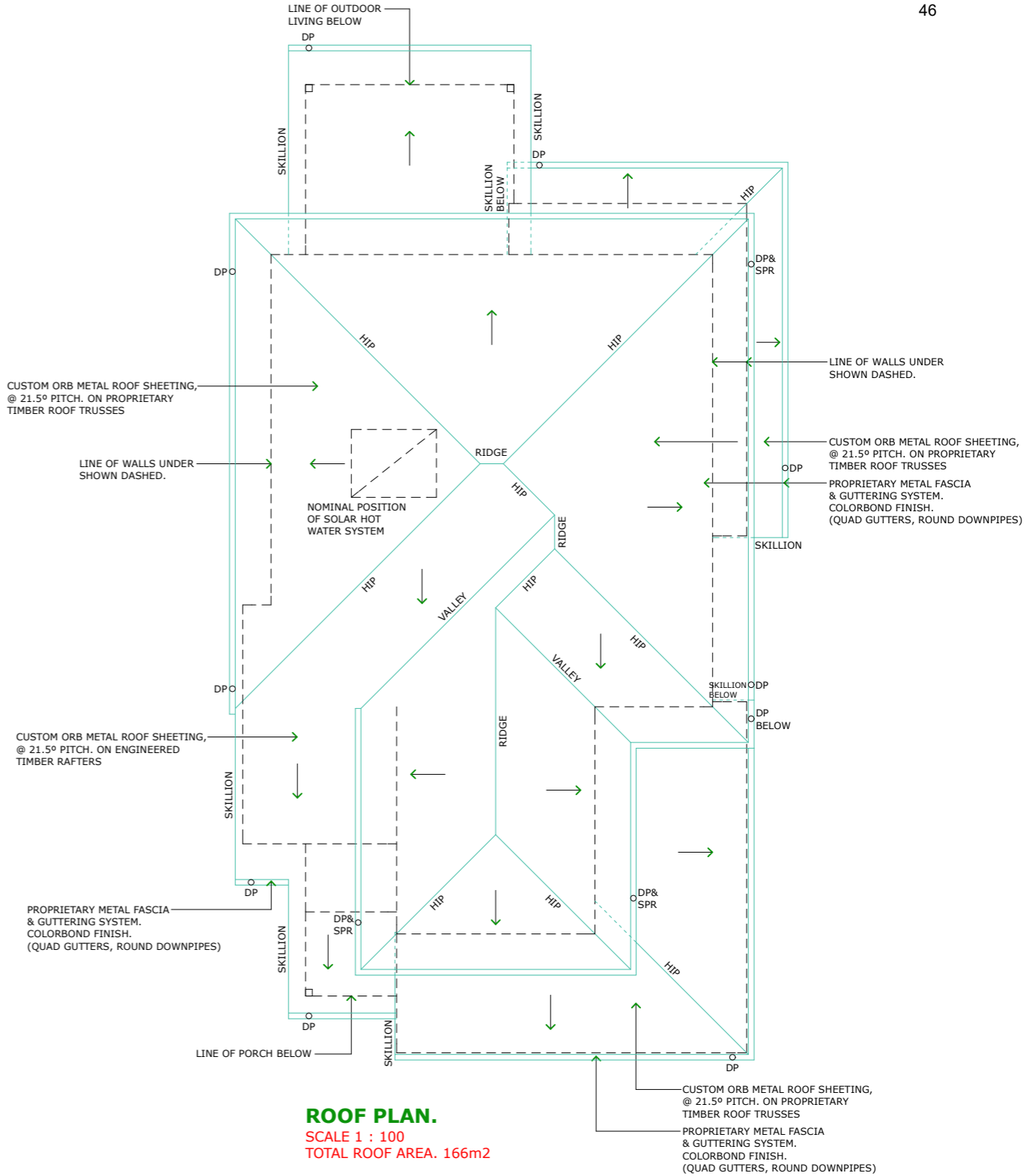
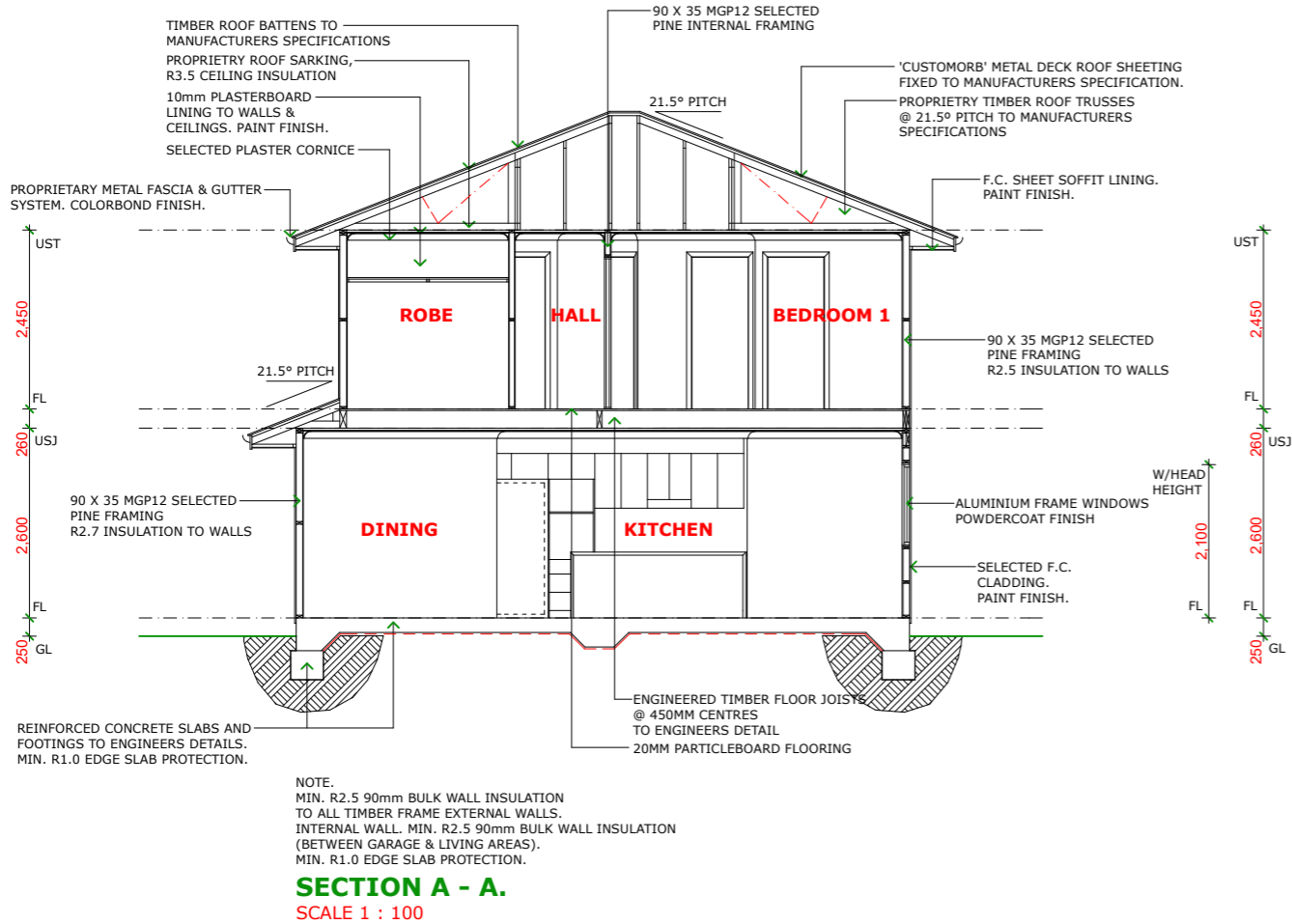
49 Kingsley Lane
Byron Bay NSW 2481

Ppdc

Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction

Development Consultants/Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.



NOTE.
ALL DOWNPIPES TO BE CONNECTED TO
ON-SITE STORMWATER DRAINAGE SYSTEM.
REFER TO ENGINEERS DETAILS FOR NOMINAL LOCATIONS.

DWELLING 11

CONSTRUCTION SECTION, ROOF PLAN

SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

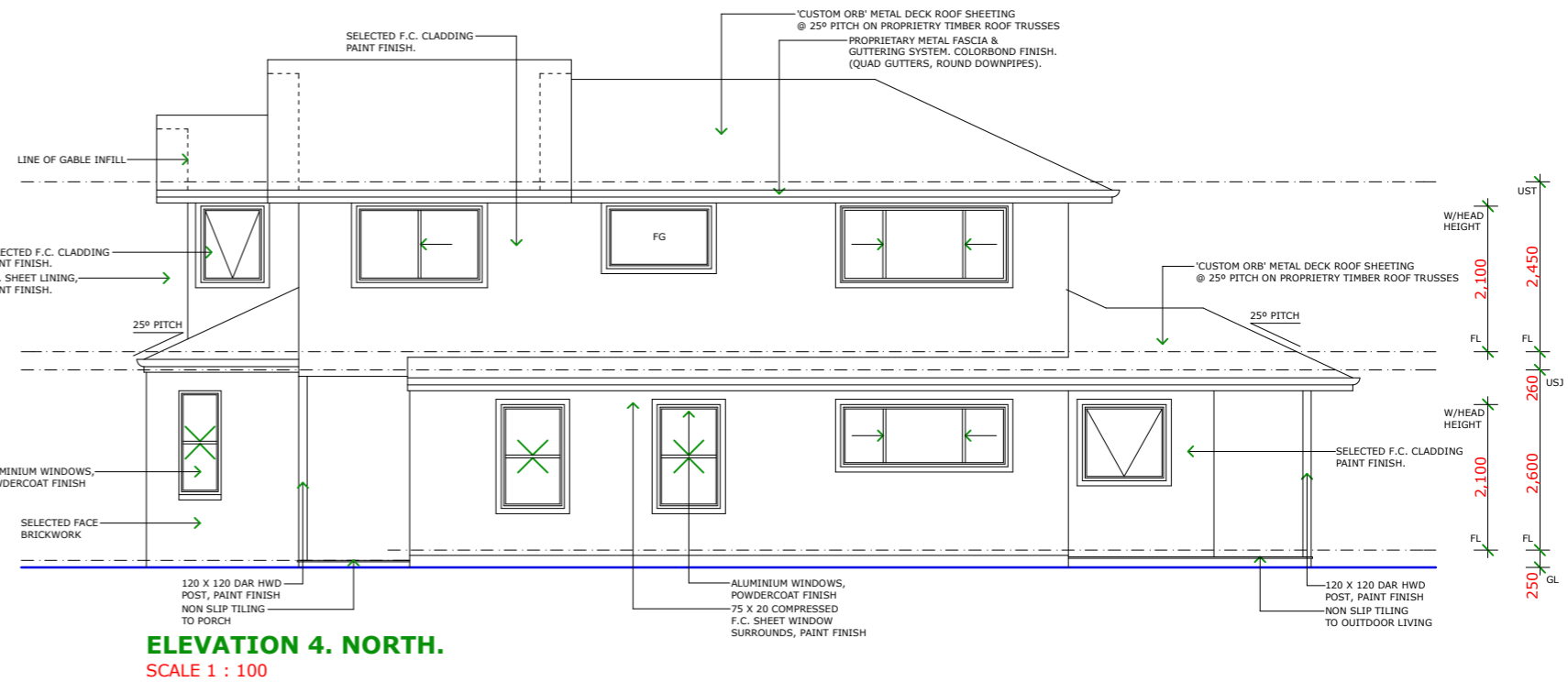
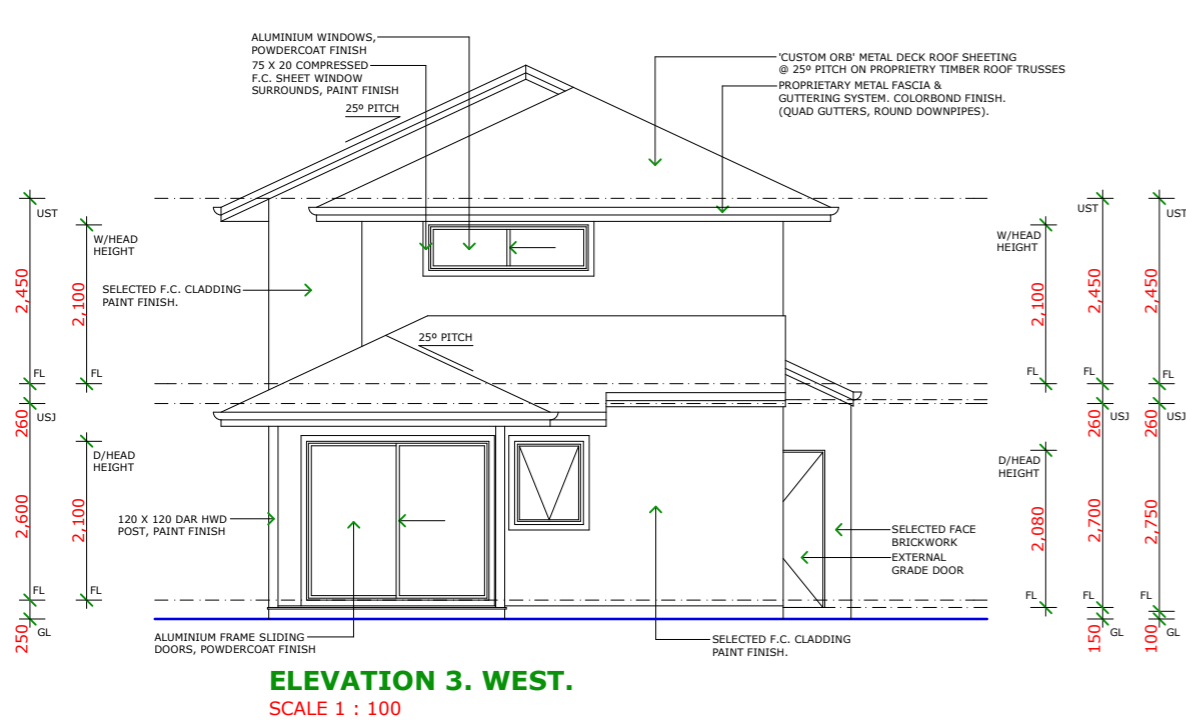
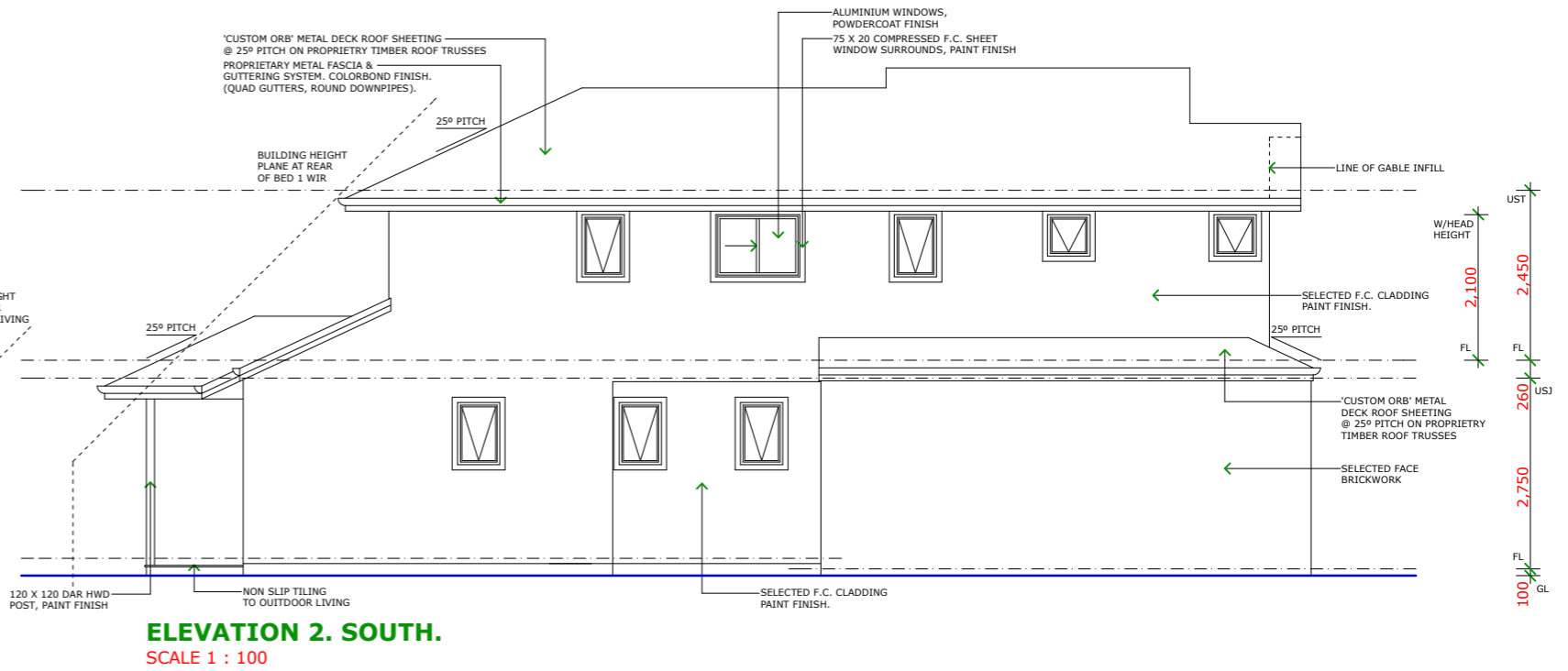
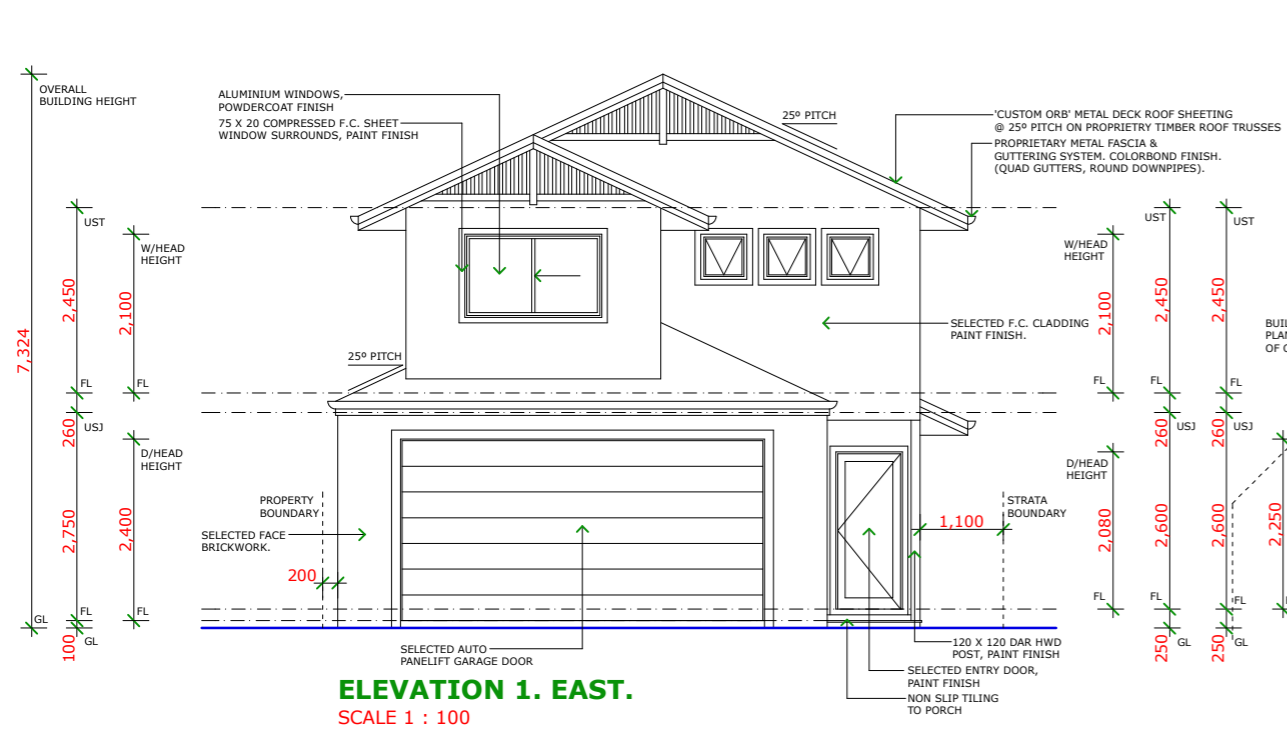
Design & Documentation by Douglas Cope. QBSA Licence No. 1037753 ABN. 86 86 11 73 484			
All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.			
DATE. APR, 21	DRAWING TITLE. CONST. SECTION, ROOF PLAN.	PROJECT No. B1161	DWG No. D11/3A
DRAWN. D.C.			
SCALE. 1 : 100			

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc

Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222, QBSA Licence No. 1037753.



DWELLING 12 ELEVATIONS

SCALE 1 : 100

[illegible]

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.
FOR.
Mr J. & Mrs G. Mills.

Design & Documentation by Douglas Cope		QBSA Licence No. 1037753 ABN. 86 86 11 73 484	
All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.			
DATE. APR. 21 DRAWN. D.C. SCALE. 1 : 100	DRAWING TITLE. ELEVATIONS. PROJECT No. B1161 DWG No. D12/2_A		

PPDC 49 Kingsley Lane
Byron Bay NSW 2481
Mob. 0401 000126
Email doug@ppdc.com.au
prestige properties design & construction
Development Consultants/Architectural Designers
RAJA 25222, OBSA Licence No. 1037753,

AREA SCHEDULE.
FLOOR SPACE RATIO.

MEASURED TO THE INSIDE
FACE OF THE EXTERNAL WALLS.
NOT INCLUDING CARPARKING REQUIREMENTS,
AREA FOR VERTICAL CIRCULATION. (STAIRS).
TERRACES & BALCONIES WITH OUTER
WALLS LESS THAN 1.4 METRES HIGH.
GROUND FLOOR LIVING 53.7m2
FIRST FLOOR LIVING 63.7m2

TOTAL AREA 117.4m2

AREA SCHEDULE

GROUND FLOOR LIVING 56.2m2
GARAGE 42.4
PORCH 2.0
OUTDOOR LIVING 10.7
FIRST FLOOR LIVING 71.5m2

TOTAL AREA 182.8m2

DWELLING 12
FLOOR PLANS

SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

AT.

PROJECT.

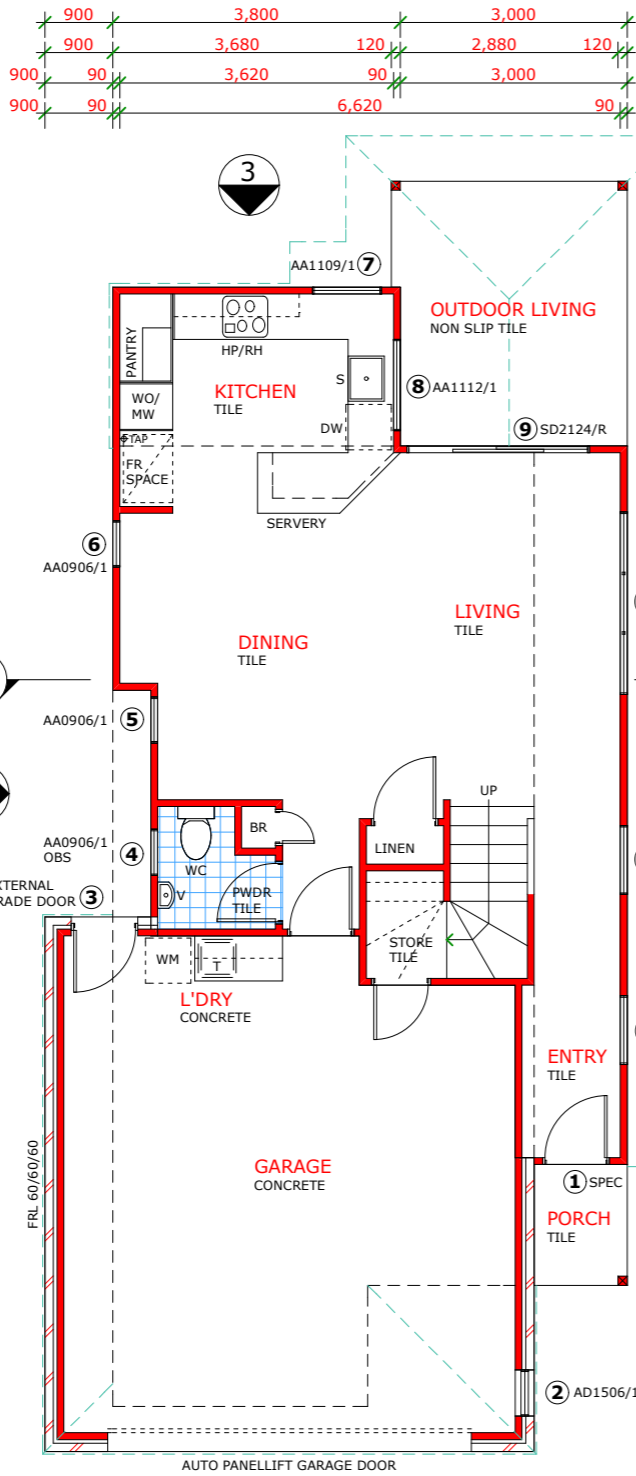
PROPOSED NEW UNIT DEVELOPMENT.

Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.

FOR.

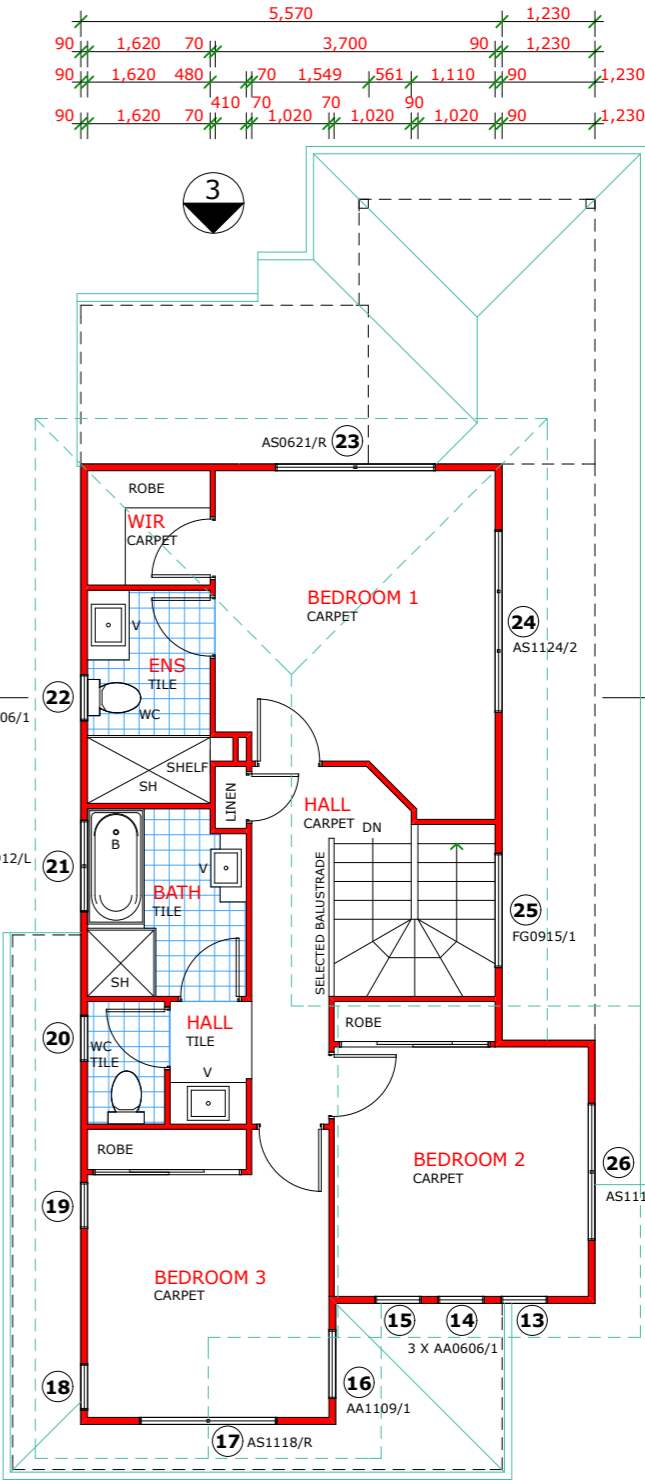
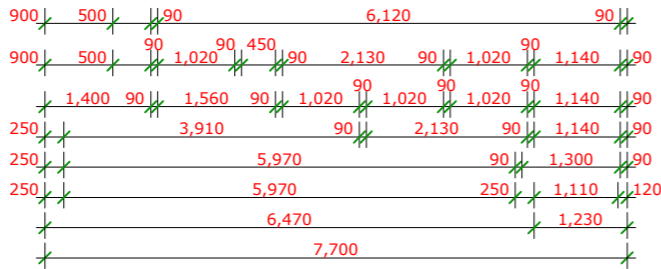
Mr J. & Mrs G. Mills.

DWELLING BASIX REQUIREMENTS.
REFER BASIX CERTIFICATE. NUMBER 1197070M FOR WATER,
THERMAL COMFORT & ENERGY REQUIREMENTS.
HOT WATER SYSTEM TO BE A SOLAR (ELECTRIC BOOSTED) SYSTEM.
PERFORMANCE OF 31 TO 35 STC'S OR BETTER.
THAT IS ELIGIBLE TO CREATE RENEWABLE ENERGY CERTIFICATES
UNDER RENEWABLE ENERGY REGULATIONS 2001.
(AMENDMENT REGULATIONS 2005 No 2).
ROOF INSULATION
PROVIDE 60MM REFLECTIVE FOIL BLANKET.
TO UNDERSIDE OF ROOF SHEETING THROUGHOUT.
MIN. R3.5 INSULATION TO CEILINGS
MIN. R2.0 INSULATION BETWEEN GARAGE & FLOOR ABOVE
MIN. R2.5 INSULATION OVER RAKING CEILINGS
EXTERNAL WALL INSULATION.
MIN R2.5 90MM BULK INSULATION TO ALL TIMBER FRAME EXTERNAL WALLS.
EXTERNAL FLOOR. MIN. R1.0 EDGE SLAB PROTECTION.
INTERNAL WALL INSULATION.
MIN R2.0 90MM BULK INSULATION BETWEEN GARAGE & LIVING AREAS.
ALL SHOWERHEADS TO HAVE A MINIMUM 3 STAR RATING.
(>7.5 but <=9 L/Min)
ALL TOILETS TO HAVE A MINIMUM 3 STAR RATING.
AND BE DUAL FLUSH.
SINK AND BASIN TAPS TO HAVE A MINIMUM 3 STAR RATING.
EXTERNAL COLOUR SCHEME
ROOF SHEETING. COLORBOND. DARK COLOUR.
CEILING FANS TO A MINIMUM OF 1 LIVING AREA AND 1 BEDROOM
WINDOWS, DOORS TO BE IN ACCORDANCE WITH
THERMAL COMFORT COMMITMENTS. BASIX CERTIFICATE NUMBER 1197070M.



GROUND FLOOR PLAN.

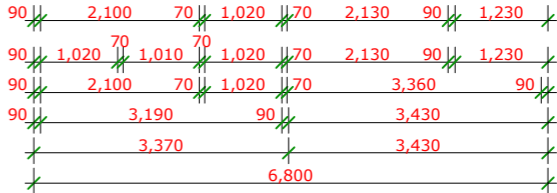
SCALE 1 : 100



FIRST FLOOR PLAN.

SCALE 1 : 100

NOTE.
ALL FIRST FLOOR WINDOWS TO BE IN ACCORDANCE WITH
BCA. VOLUME 2. CLAUSE 3.9.2.5. PROTECTION OF OPENABLE WINDOWS.
LOUVRE AND AWNING WINDOWS OPENABLE PORTION TO BE PROTECTED WITH.
(A). A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENING.
(B). A SCREEN WITH SECURE FITTINGS.



Design & Documentation by Douglas Cope. QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the
Building Code of Australia. Do Not Scale this Drawing, use given dimensions
in preference. All dimensions and levels are to be confirmed Onsite. These
drawings and the COPYRIGHT thereof are the property of Douglas Cope and
must not be used or reproduced without the written permission of Douglas
Cope. Professional Indemnity Insurance held individually by Douglas Cope.

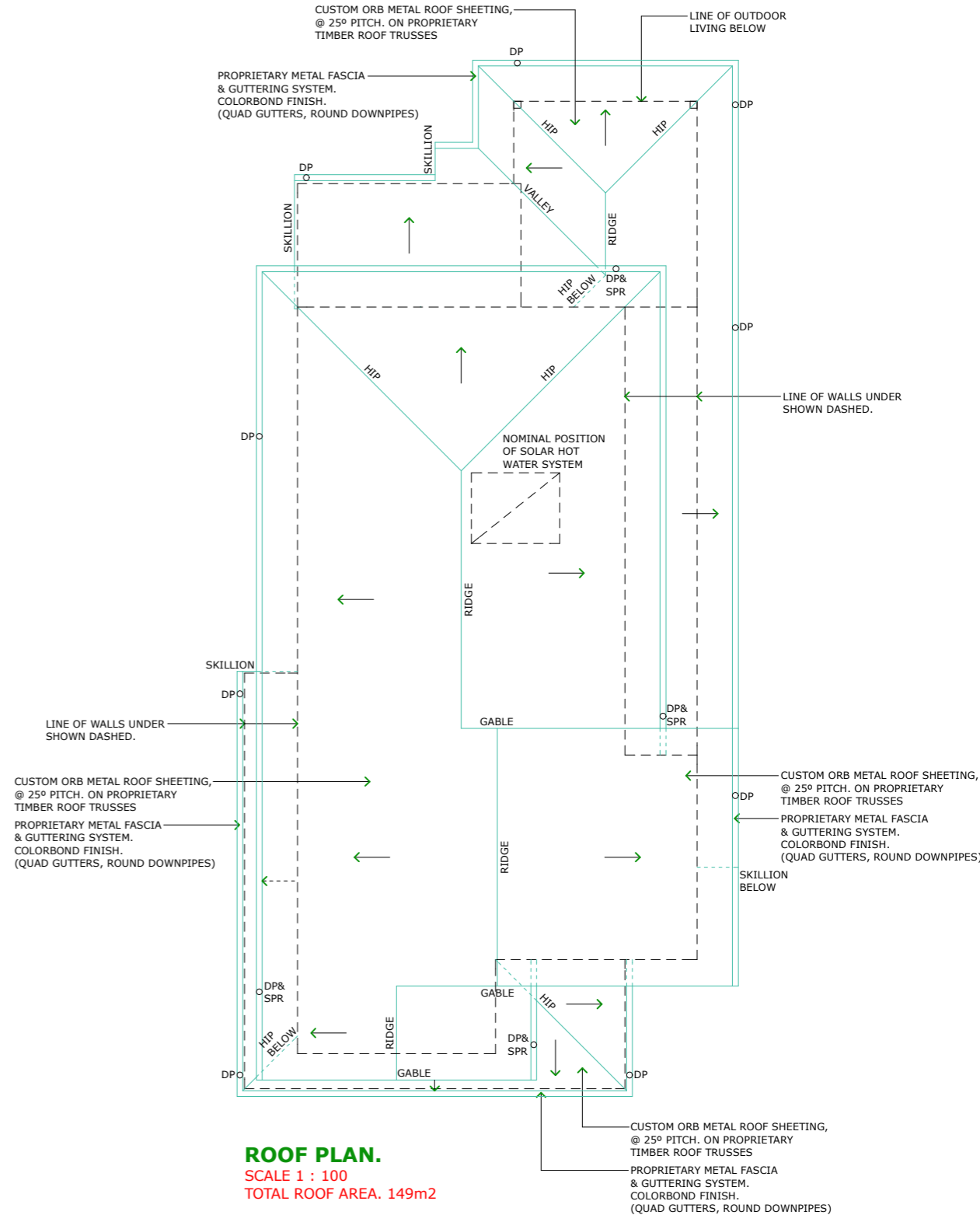
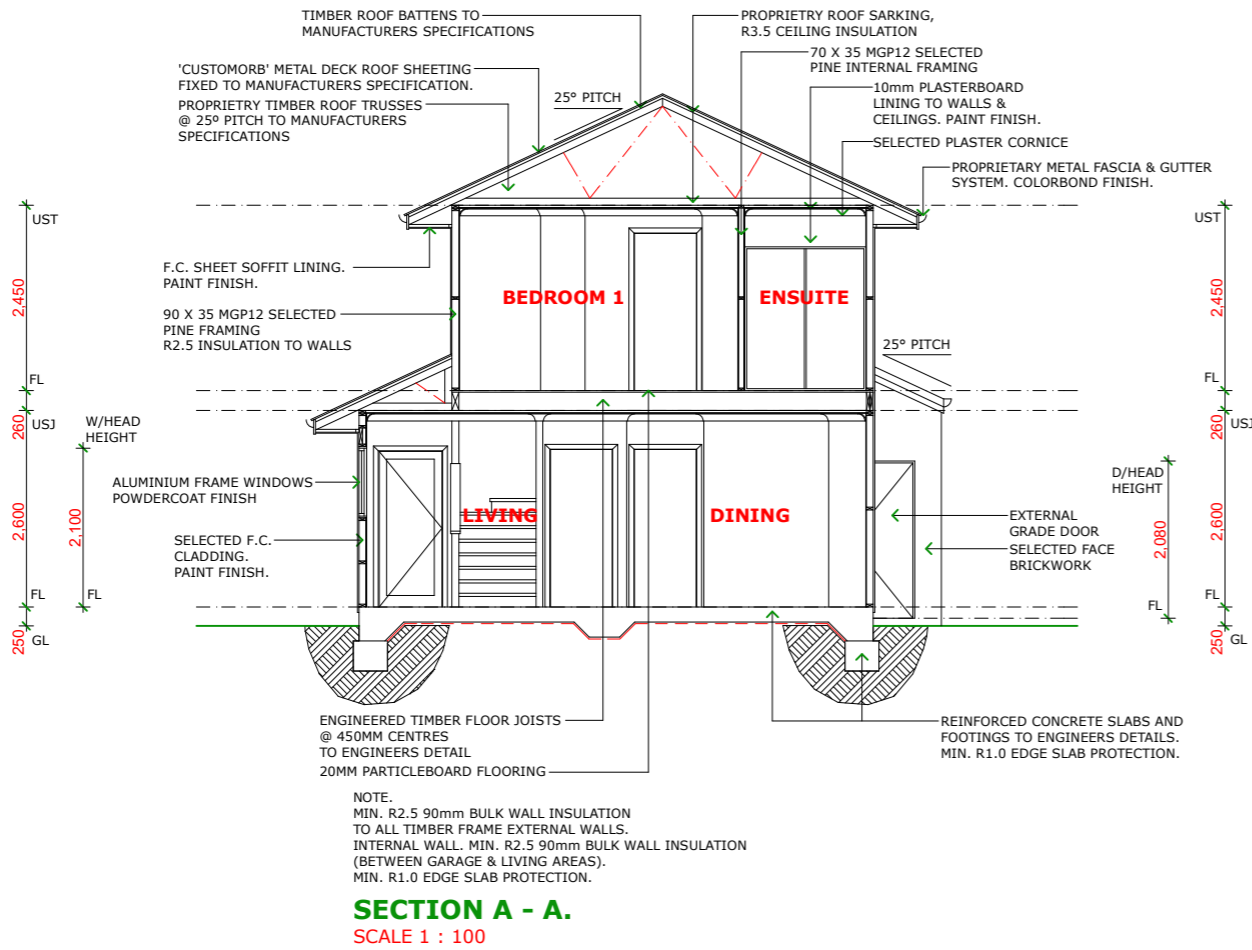
DATE. APR, 21
DRAWN. D.C.
SCALE. 1 : 100
DRAWING TITLE. FLOOR PLANS.
PROJECT No. B1161
DWG No. D12/1 A

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc

Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222, QBSA Licence No. 1037753.



NOTE.
ALL DOWNPIPES TO BE CONNECTED TO
ON-SITE STORMWATER DRAINAGE SYSTEM.
REFER TO ENGINEERS DETAILS FOR NOMINAL LOCATIONS.

DWELLING 12
CONSTRUCTION SECTION, ROOF PLAN
SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

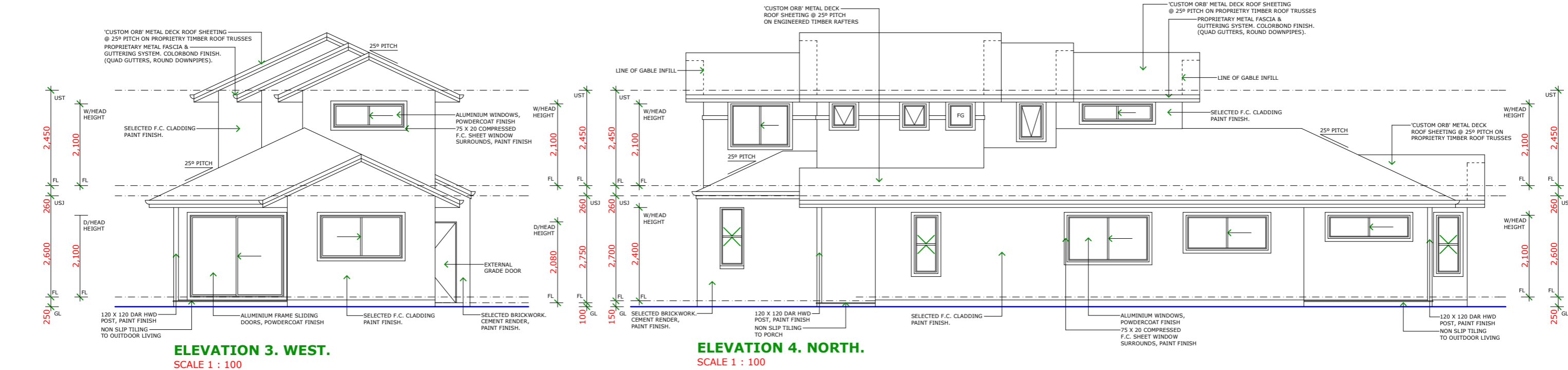
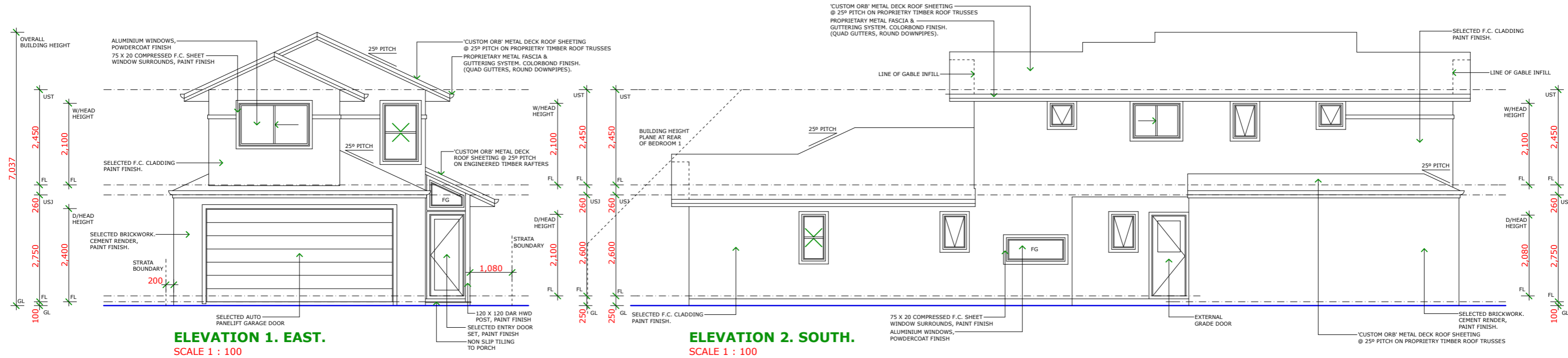
Design & Documentation by Douglas Cope. QBSA Licence No. 1037753 ABN. 86 86 11 73 484			
All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.			
DATE. APR, 21	DRAWING TITLE. CONST. SECTION, ROOF PLAN.	DRAWN. D.C.	PROJECT No. B1161 DWG No. D12/3A
SCALE. 1 : 100			

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc

Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.



DWELLING 13
ELEVATIONS
SCALE 1 : 100

AMENDMENTS.				PROJECT.	<div>PROPOSED NEW UNIT DEVELOPMENT.</div>	<div><div>Design & Documentation by Douglas Cope.</div><div>QBSA Licence No. 1037753 ABN. 86 86 11 73 484</div></div>	<div><div>49 Kingsley Lane Byron Bay NSW 2481</div><div>PPDC</div><div>Mob. 0401 000126 Email doug@ppdc.com.au</div><div>prestige properties design & construction</div><div>Development Consultants Architectural Designers RAIA 25222, QBSA Licence No. 1037753.</div></div>
AMEND.	DATE.	INT.	DESCRIPTION.				
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.	AT.	Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.	<div><div>DATE. APR, 21 DRAWN. D.C. SCALE. 1 : 100</div><div>DRAWING TITLE. ELEVATIONS. PROJECT No. B1161 DWG No. D13/2A</div></div>	
FOR.				Mr J. & Mrs G. Mills.			

AREA SCHEDULE.
FLOOR SPACE RATIO.
MEASURED TO THE INSIDE
FACE OF THE EXTERNAL WALLS.
NOT INCLUDING CARPARKING REQUIREMENTS,
AREA FOR VERTICAL CIRCULATION. (STAIRS).
TERRACES & BALCONIES WITH OUTER
WALLS LESS THAN 1.4 METRES HIGH.
GROUND FLOOR LIVING 75.8m2
FIRST FLOOR LIVING 46.8m2

TOTAL AREA 122.6m2

AREA SCHEDULE
GROUND FLOOR LIVING 79.0m2
GARAGE 41.3
PORCH 1.7
OUTDOOR LIVING 9.6
FIRST FLOOR LIVING 53.1m2

TOTAL AREA 184.7m2

DWELLING 13
FLOOR PLANS

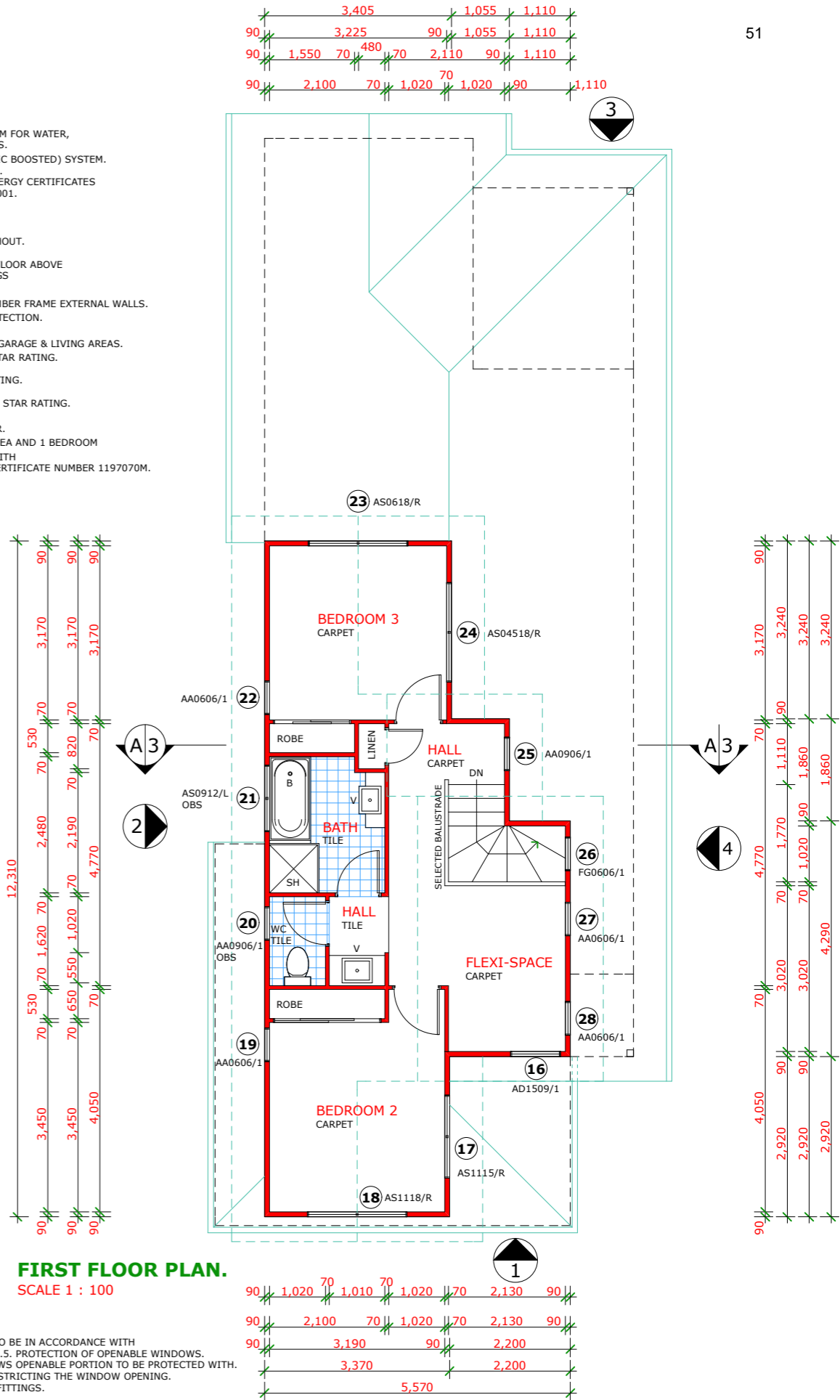
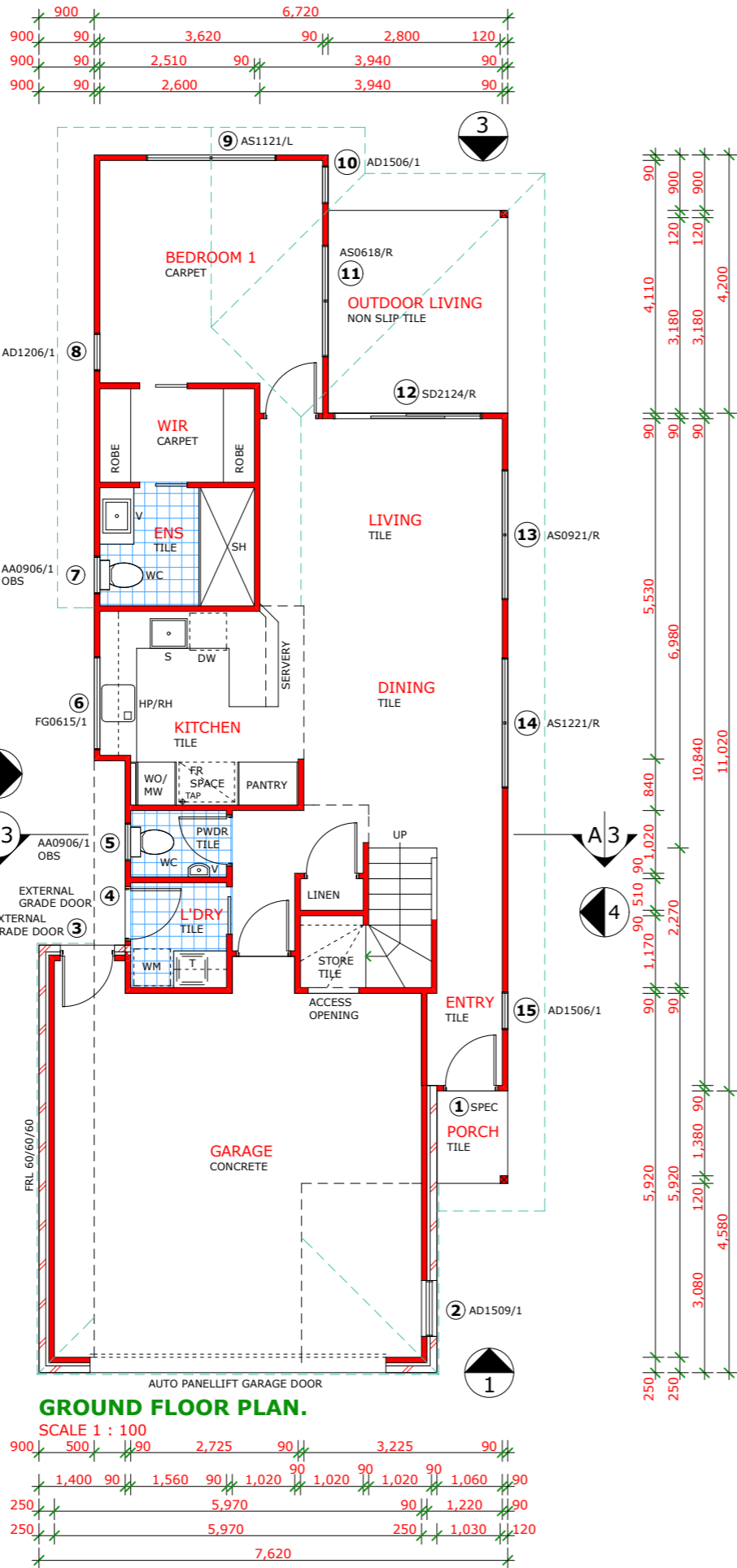
SCALE 1 : 100

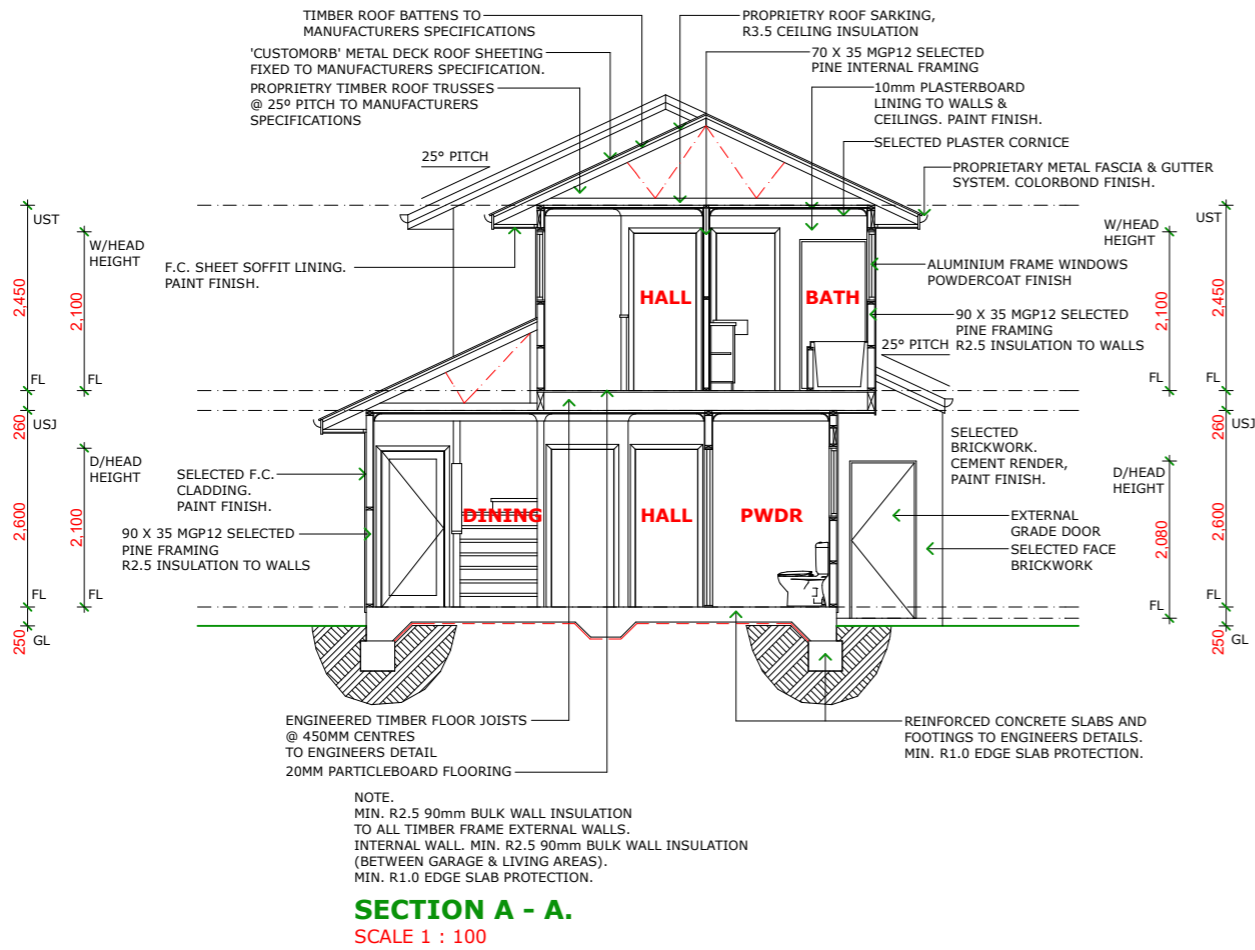
AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**
AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**
FOR. **Mr J. & Mrs G. Mills.**

DWELLING BASIX REQUIREMENTS.
REFER BASIX CERTIFICATE. NUMBER 1197070M FOR WATER,
THERMAL COMFORT & ENERGY REQUIREMENTS.
HOT WATER SYSTEM TO BE A SOLAR (ELECTRIC BOOSTED) SYSTEM.
PERFORMANCE OF 31 TO 35 STC'S OR BETTER.
THAT IS ELIGIBLE TO CREATE RENEWABLE ENERGY CERTIFICATES
UNDER RENEWABLE ENERGY REGULATIONS 2001.
(AMENDMENT REGULATIONS 2005 No 2).
ROOF INSULATION
PROVIDE 60MM REFLECTIVE FOIL BLANKET.
TO UNDERSIDE OF ROOF SHEETING THROUGHOUT.
MIN. R3.5 INSULATION TO CEILINGS
MIN. R2.0 INSULATION BETWEEN GARAGE & FLOOR ABOVE
MIN. R2.5 INSULATION OVER RAKING CEILINGS
EXTERNAL WALL INSULATION.
MIN R2.5 90MM BULK INSULATION TO ALL TIMBER FRAME EXTERNAL WALLS.
EXTERNAL FLOOR. MIN. R1.0 EDGE SLAB PROTECTION.
INTERNAL WALL INSULATION.
MIN R2.0 90MM BULK INSULATION BETWEEN GARAGE & LIVING AREAS.
ALL SHOWERHEADS TO HAVE A MINIMUM 3 STAR RATING.
(>7.5 but <=9 L/Min)
ALL TOILETS TO HAVE A MINIMUM 3 STAR RATING.
AND BE DUAL FLUSH.
SINK AND BASIN TAPS TO HAVE A MINIMUM 3 STAR RATING.
EXTERNAL COLOUR SCHEME
ROOF SHEETING. COLORBOND. DARK COLOUR.
CEILING FANS TO A MINIMUM OF 1 LIVING AREA AND 1 BEDROOM
WINDOWS, DOORS TO BE IN ACCORDANCE WITH
THERMAL COMFORT COMMITMENTS. BASIX CERTIFICATE NUMBER 1197070M.

NOTE.
ALL FIRST FLOOR WINDOWS TO BE IN ACCORDANCE WITH
BCA. VOLUME 2. CLAUSE 3.9.2.5. PROTECTION OF OPENABLE WINDOWS.
LOUVRE AND AWNING WINDOWS OPENABLE PORTION TO BE PROTECTED WITH.
(A). A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENING.
(B). A SCREEN WITH SECURE FITTINGS.



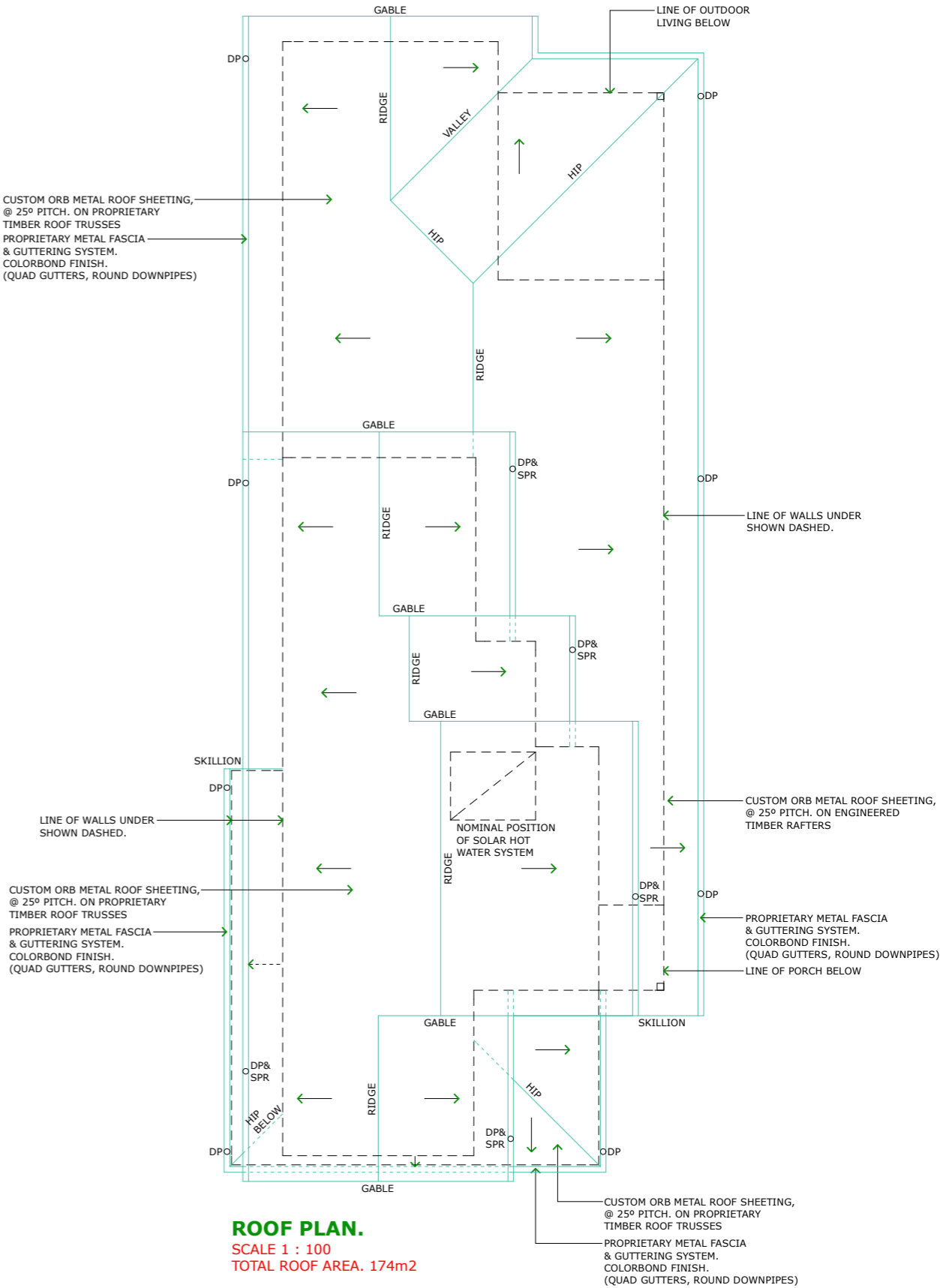


NOTE.
ALL DOWNPIPES TO BE CONNECTED TO
ON-SITE STORMWATER DRAINAGE SYSTEM.
REFER TO ENGINEERS DETAILS FOR NOMINAL LOCATIONS.

DWELLING 13

CONSTRUCTION SECTION, ROOF PLAN

SCALE 1 : 100



AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

Design & Documentation by Douglas Cope. QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions & levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

DATE. APR, 21
DRAWN. D.C.
SCALE. 1 : 100

DRAWING TITLE. **CONST. SECTION, ROOF PLAN.**

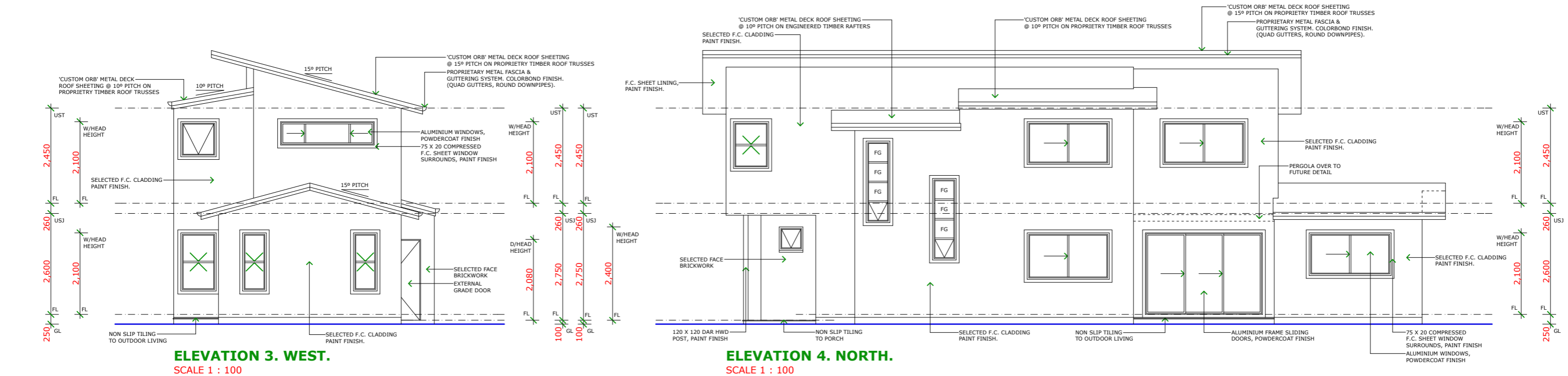
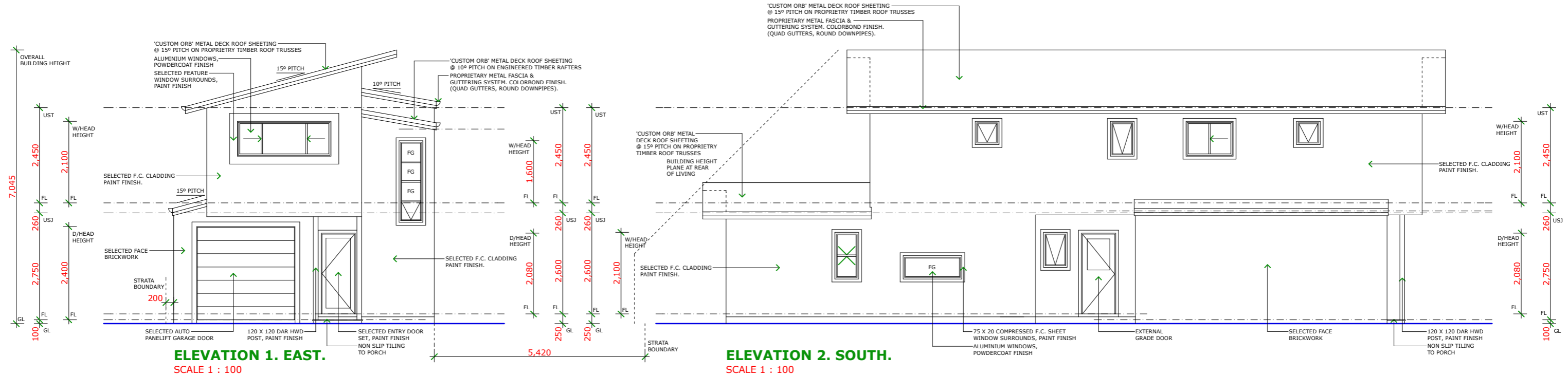
PROJECT No. **B1161** DWG No. **D13/3A**

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc

Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants | Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.



DWELLING 14
ELEVATIONS
SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

Design & Documentation by Douglas Cope. QBSA Licence No. 1037753 ABN. 86 86 11 73 484			
All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.			
DATE. APR, 21	DRAWING TITLE. ELEVATIONS.	DWG No. D14/2	
DRAWN. D.C.	PROJECT No. B1161	SCALE. 1 : 100	

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc

Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.

AREA SCHEDULE.
FLOOR SPACE RATIO.

MEASURED TO THE INSIDE
FACE OF THE EXTERNAL WALLS.
NOT INCLUDING CARPARKING REQUIREMENTS,
AREA FOR VERTICAL CIRCULATION. (STAIRS),
TERRACES & BALCONIES WITH OUTER
WALLS LESS THAN 1.4 METRES HIGH.
GROUND FLOOR LIVING 58.5m2
FIRST FLOOR LIVING 60.0m2

TOTAL AREA 118.5m2

AREA SCHEDULE

GROUND FLOOR LIVING 61.9m2
GARAGE 23.8
PORCH 2.8
OUTDOOR LIVING 7.5
FIRST FLOOR LIVING 69.2m2

TOTAL AREA 165.2m2

DWELLING 14
FLOOR PLANS

SCALE 1 : 100

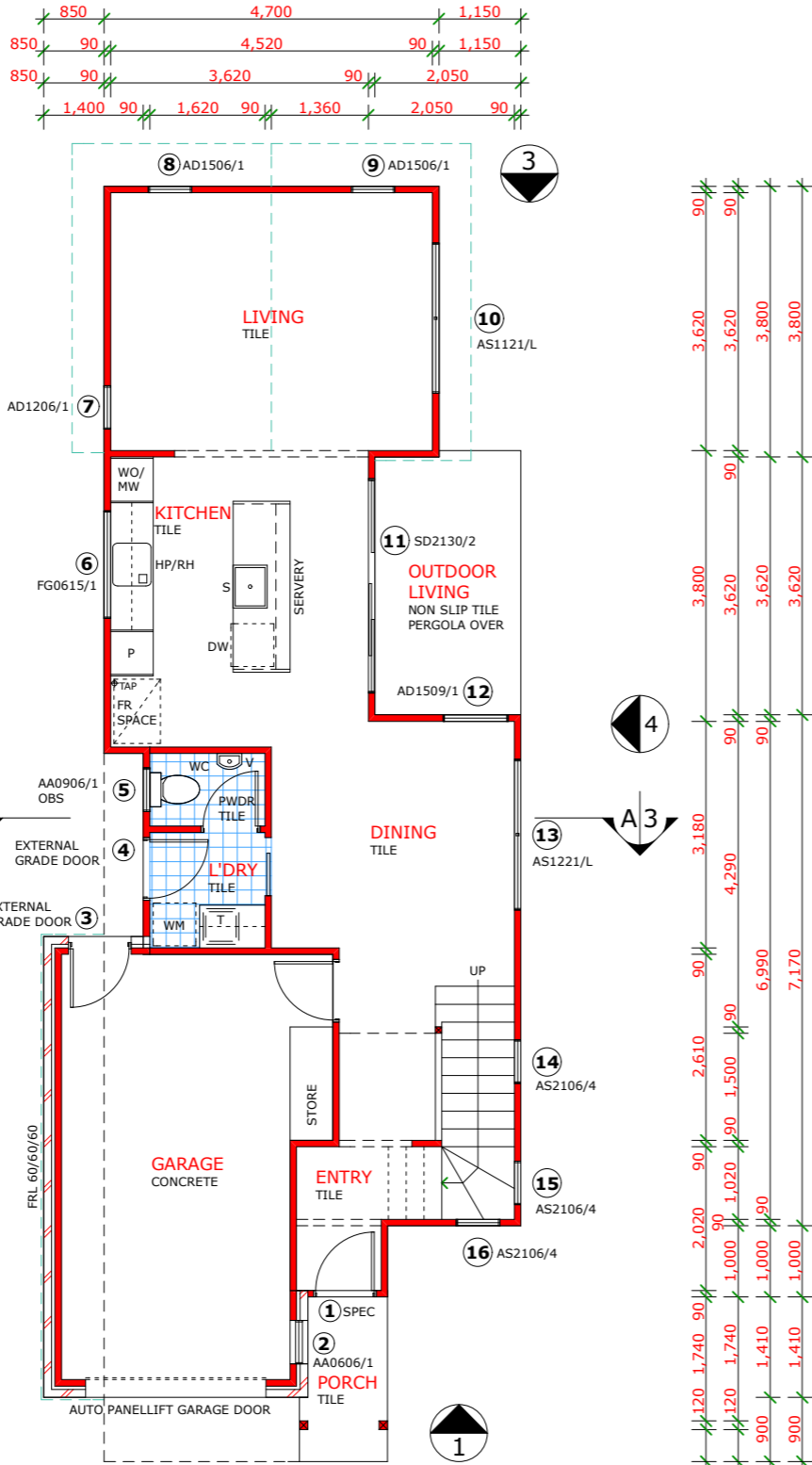
AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

FOR. **Mr J. & Mrs G. Mills.**

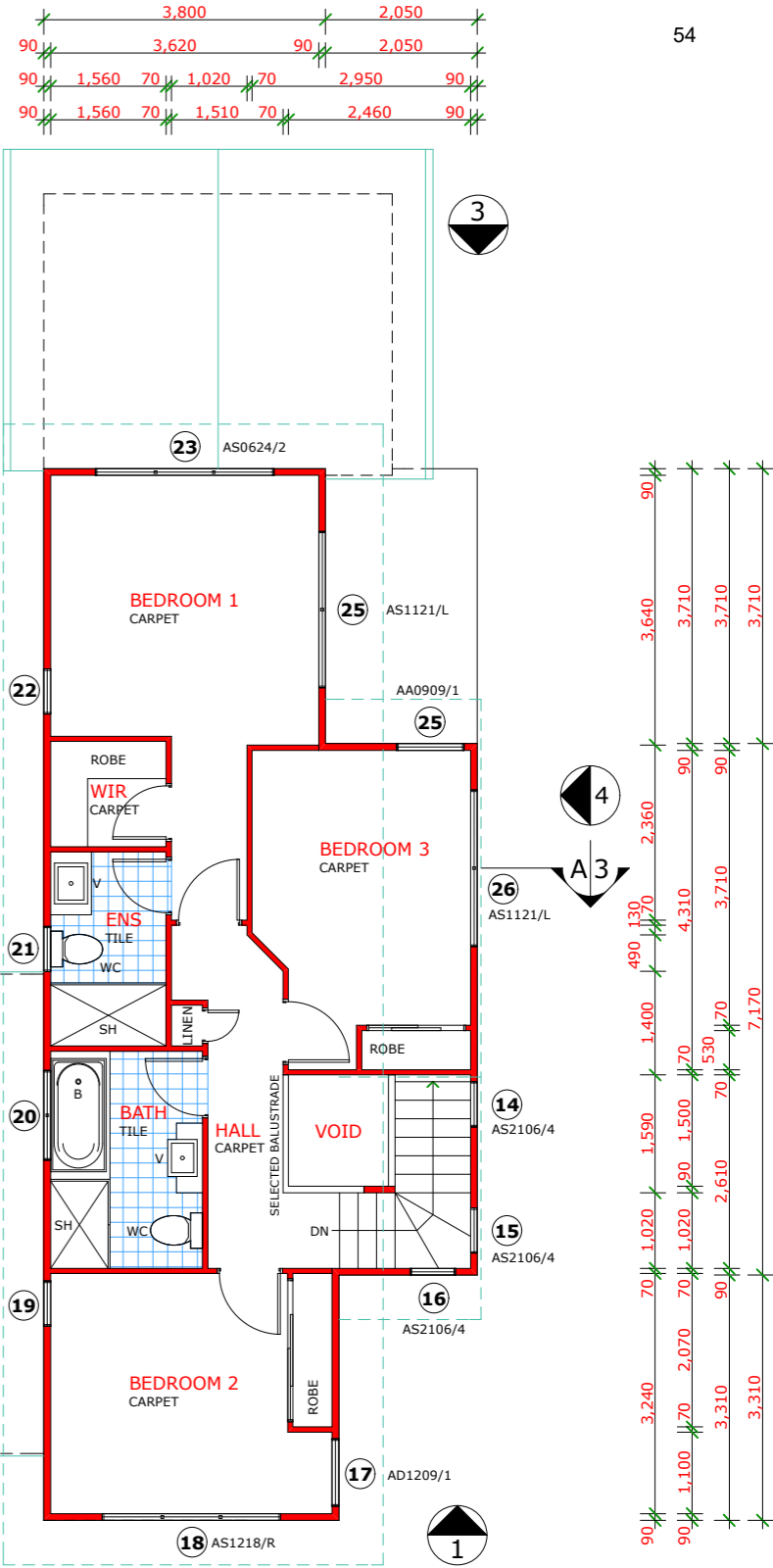
AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

DWELLING BASIX REQUIREMENTS.
REFER BASIX CERTIFICATE. NUMBER 1197070M FOR WATER,
THERMAL COMFORT & ENERGY REQUIREMENTS.
HOT WATER SYSTEM TO BE A SOLAR (ELECTRIC BOOSTED) SYSTEM.
PERFORMANCE OF 31 TO 35 STC'S OR BETTER.
THAT IS ELIGIBLE TO CREATE RENEWABLE ENERGY CERTIFICATES
UNDER RENEWABLE ENERGY REGULATIONS 2001.
(AMENDMENT REGULATIONS 2005 No 2).
ROOF INSULATION
PROVIDE 60MM REFLECTIVE FOIL BLANKET.
TO UNDERSIDE OF ROOF SHEETING THROUGHOUT.
MIN. R3.5 INSULATION TO CEILINGS
MIN. R2.0 INSULATION BETWEEN GARAGE & FLOOR ABOVE
MIN. R2.5 INSULATION OVER RAKING CEILINGS
EXTERNAL WALL INSULATION.
MIN R2.5 90MM BULK INSULATION TO ALL TIMBER FRAME EXTERNAL WALLS.
INTERNAL WALL INSULATION.
MIN R2.0 90MM BULK INSULATION BETWEEN GARAGE & LIVING AREAS.
ALL SHOWERHEADS TO HAVE A MINIMUM 3 STAR RATING.
(>7.5 but <=9 L/Min)
ALL TOILETS TO HAVE A MINIMUM 3 STAR RATING.
AND BE DUAL FLUSH.
SINK AND BASIN TAPS TO HAVE A MINIMUM 3 STAR RATING.
EXTERNAL COLOUR SCHEME
ROOF SHEETING. COLORBOND. MEDIUM COLOUR.
CEILING FANS TO A MINIMUM OF 1 LIVING AREA AND 1 BEDROOM
WINDOWS, DOORS TO BE IN ACCORDANCE WITH
THERMAL COMFORT COMMITMENTS. BASIX CERTIFICATE NUMBER 1197070M.



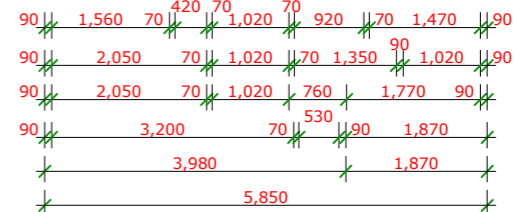
GROUND FLOOR PLAN.

SCALE 1 : 100



FIRST FLOOR PLAN.

SCALE 1 : 100



NOTE.
ALL FIRST FLOOR WINDOWS TO BE IN ACCORDANCE WITH
BCA. VOLUME 2. CLAUSE 3.9.2.5. PROTECTION OF OPENABLE WINDOWS.
LOUVRE AND AWNING WINDOWS OPENABLE PORTION TO BE PROTECTED WITH.
(A). A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENING.
(B). A SCREEN WITH SECURE FITTINGS.

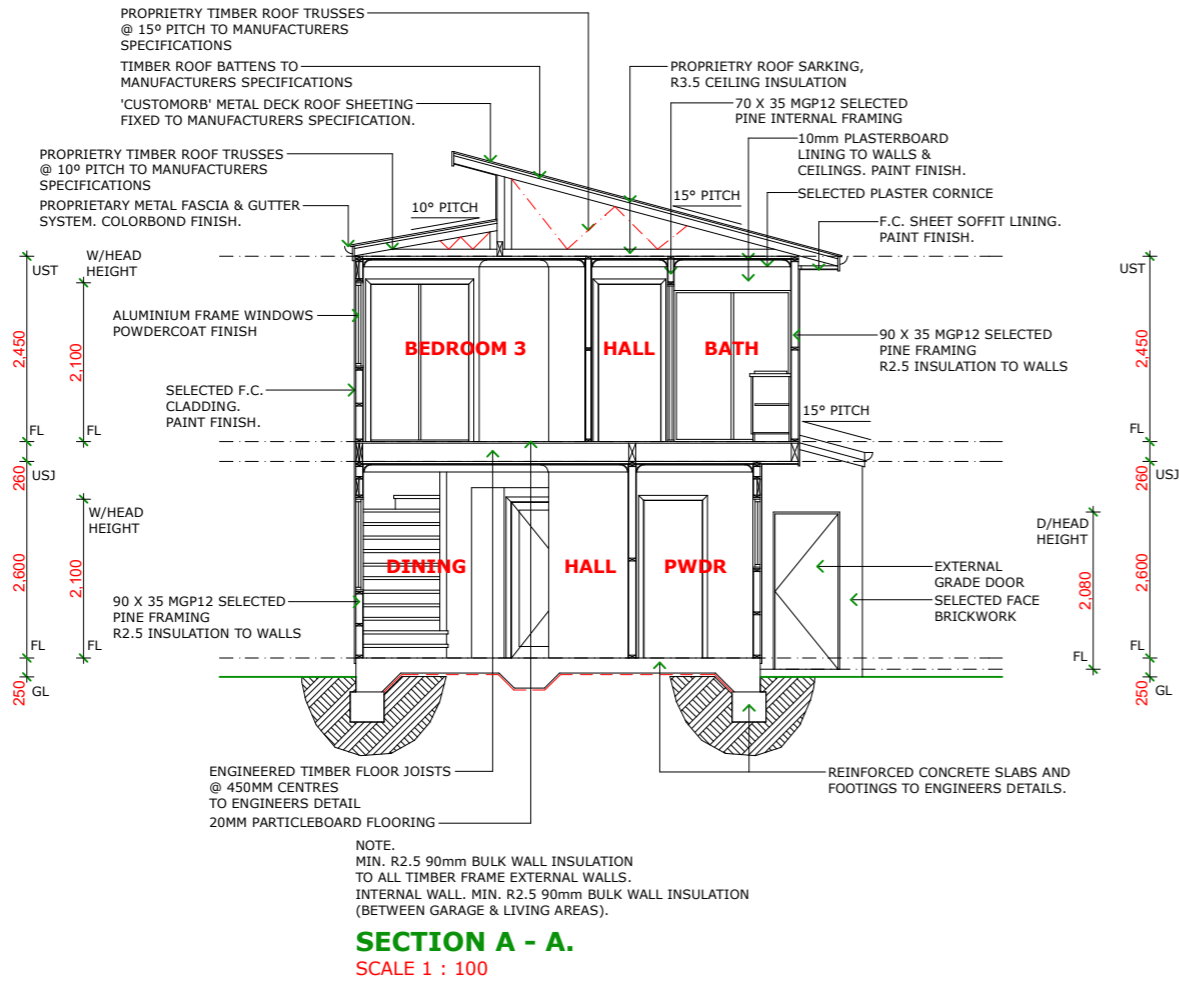
Design & Documentation by Douglas Cope. QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the
Building Code of Australia. Do Not Scale this Drawing, use given dimensions
in preference. All dimensions and levels are to be confirmed Onsite. These
drawings and the COPYRIGHT thereof are the property of Douglas Cope and
must not be used or reproduced without the written permission of Douglas
Cope. Professional Indemnity Insurance held individually by Douglas Cope.

DATE. APR, 21
DRAWN. D.C.
SCALE. 1 : 100

DRAWING TITLE. **FLOOR PLANS.**
PROJECT No. **B1161** DWG No. **D14/1 A**

49 Kingsley Lane
Byron Bay NSW 2481
Ppdc
Mob. 0401 000126
Email doug@ppdc.com.au
prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.



SECTION A - A.
SCALE 1 : 100

NOTE.
ALL DOWNPIPES TO BE CONNECTED TO
ON-SITE STORMWATER DRAINAGE SYSTEM.
REFER TO ENGINEERS DETAILS FOR NOMINAL LOCATIONS.

DWELLING 14

CONSTRUCTION SECTION, ROOF PLAN

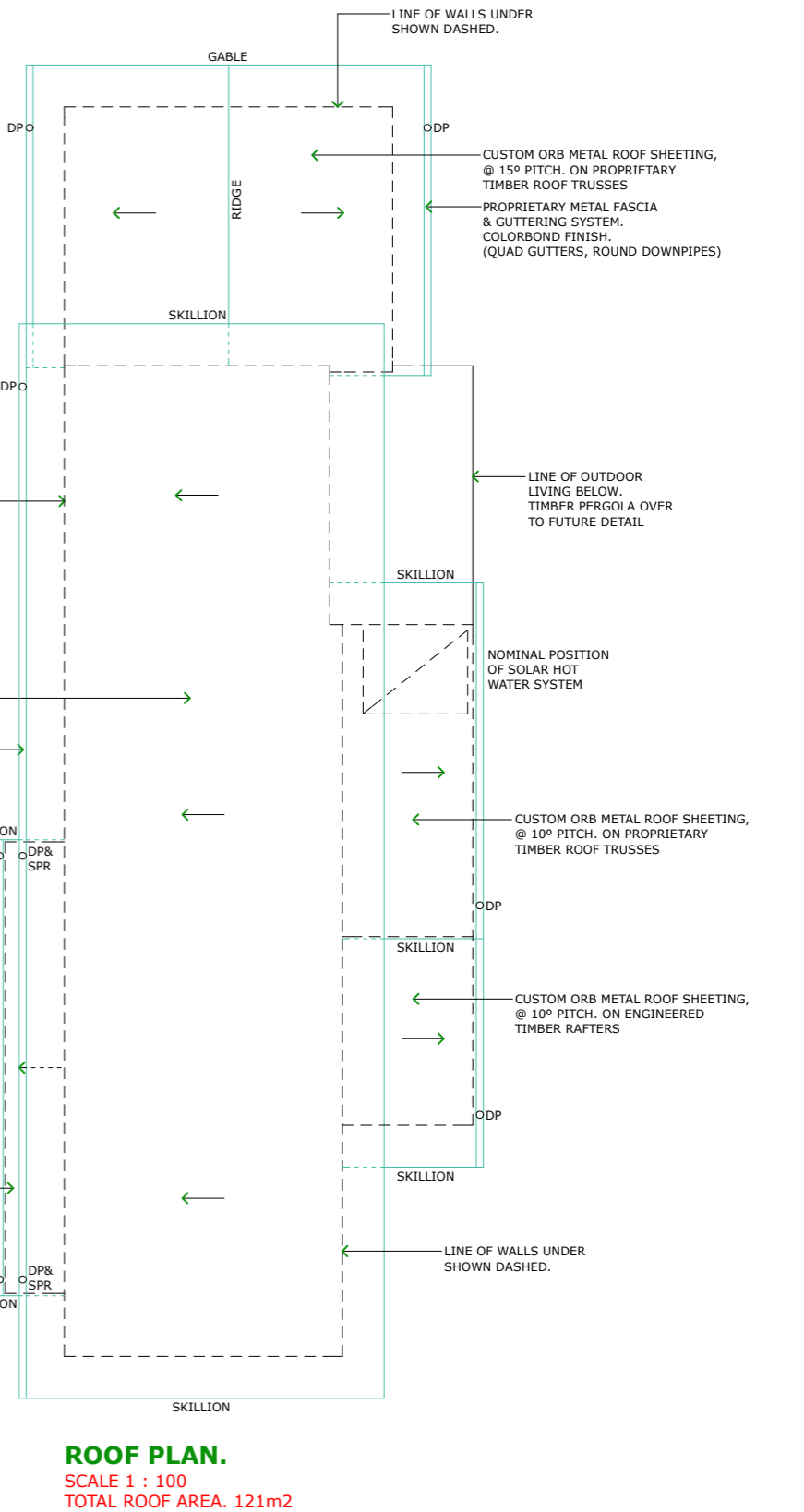
SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

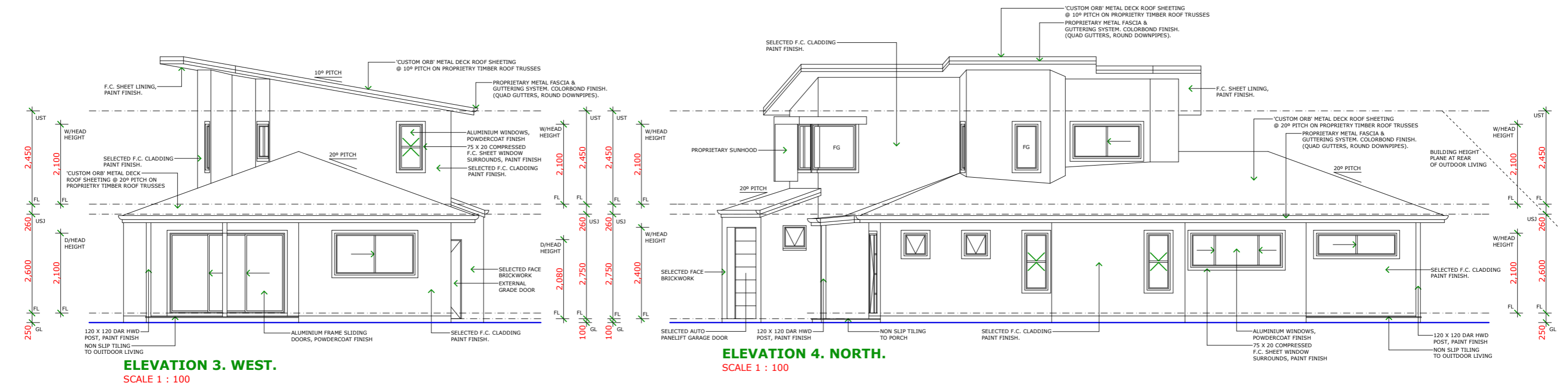
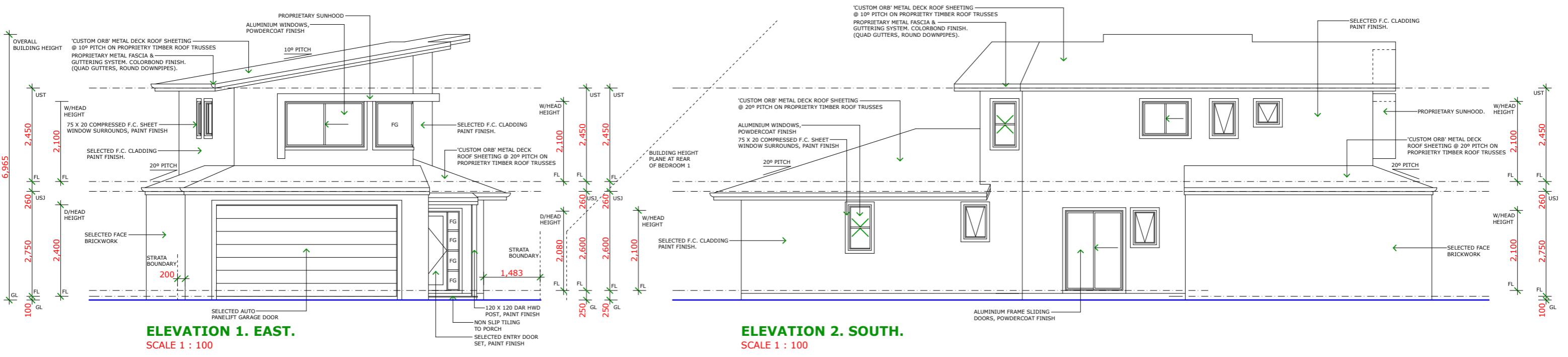
AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**




ROOF PLAN.
SCALE 1 : 100
TOTAL ROOF AREA. 121m2

AMENDMENTS.				PROJECT. PROPOSED NEW UNIT DEVELOPMENT.		Design & Documentation by Douglas Cope. QBSA Licence No. 1037753 ABN. 86 86 11 73 484		49 Kingsley Lane Byron Bay NSW 2481	
AMEND.	DATE.	INT.	DESCRIPTION.	AT. Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.		All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.		Ppdc Mob. 0401 000126 Email doug@ppdc.com.au	
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.	FOR. Mr J. & Mrs G. Mills.		DATE. APR, 21	DRAWING TITLE. CONST. SECTION, ROOF PLAN.	prestige properties design & construction	
						DRAWN. D.C.	PROJECT No. B1161	Development Consultants/Architectural Designers	
						SCALE. 1 : 100	DWG No. D14/3A	RAIA 25222, QBSA Licence No. 1037753.	



DWELLING 15
ELEVATIONS
SCALE 1 : 100

AMENDMENTS.				PROJECT.	PROPOSED NEW UNIT DEVELOPMENT.	Design & Documentation by Douglas Cope. <small>QBSA Licence No. 1037753 ABN. 86 86 11 73 484</small>		<div><div>49 Kingsley Lane Byron Bay NSW 2481</div><div></div><div>Mob. 0401 000126 Email doug@ppdc.com.au</div><div>prestige properties design & construction <small>Development Consultants/Architectural Designers RAIA 25222. QBSA Licence No. 1037753.</small></div></div>
AMEND.	DATE.	INT.	DESCRIPTION.			All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.		
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.	AT.	Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.	DATE. APR, 21		DRAWING TITLE. ELEVATIONS.
						DRAWN. D.C.		
						SCALE. 1 : 100		
						PROJECT No.		
						DWG No.		
				FOR.	Mr J. & Mrs G. Mills.	B1161 D15/2 A		

AREA SCHEDULE.
FLOOR SPACE RATIO.

MEASURED TO THE INSIDE
FACE OF THE EXTERNAL WALLS.
NOT INCLUDING CARPARKING REQUIREMENTS,
AREA FOR VERTICAL CIRCULATION. (STAIRS),
TERRACES & BALCONIES WITH OUTER
WALLS LESS THAN 1.4 METRES HIGH.
GROUND FLOOR LIVING 82.4m2
FIRST FLOOR LIVING 44.5m2

TOTAL AREA 126.9m2

AREA SCHEDULE

GROUND FLOOR LIVING 85.7m2
GARAGE 41.9
PORCH 2.3
OUTDOOR LIVING 12.0
FIRST FLOOR LIVING 50.2m2

TOTAL AREA 192.1m2

DWELLING 15
FLOOR PLANS

SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT.

PROPOSED NEW UNIT DEVELOPMENT.

FOR. Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.

FOR.

Mr J. & Mrs G. Mills.

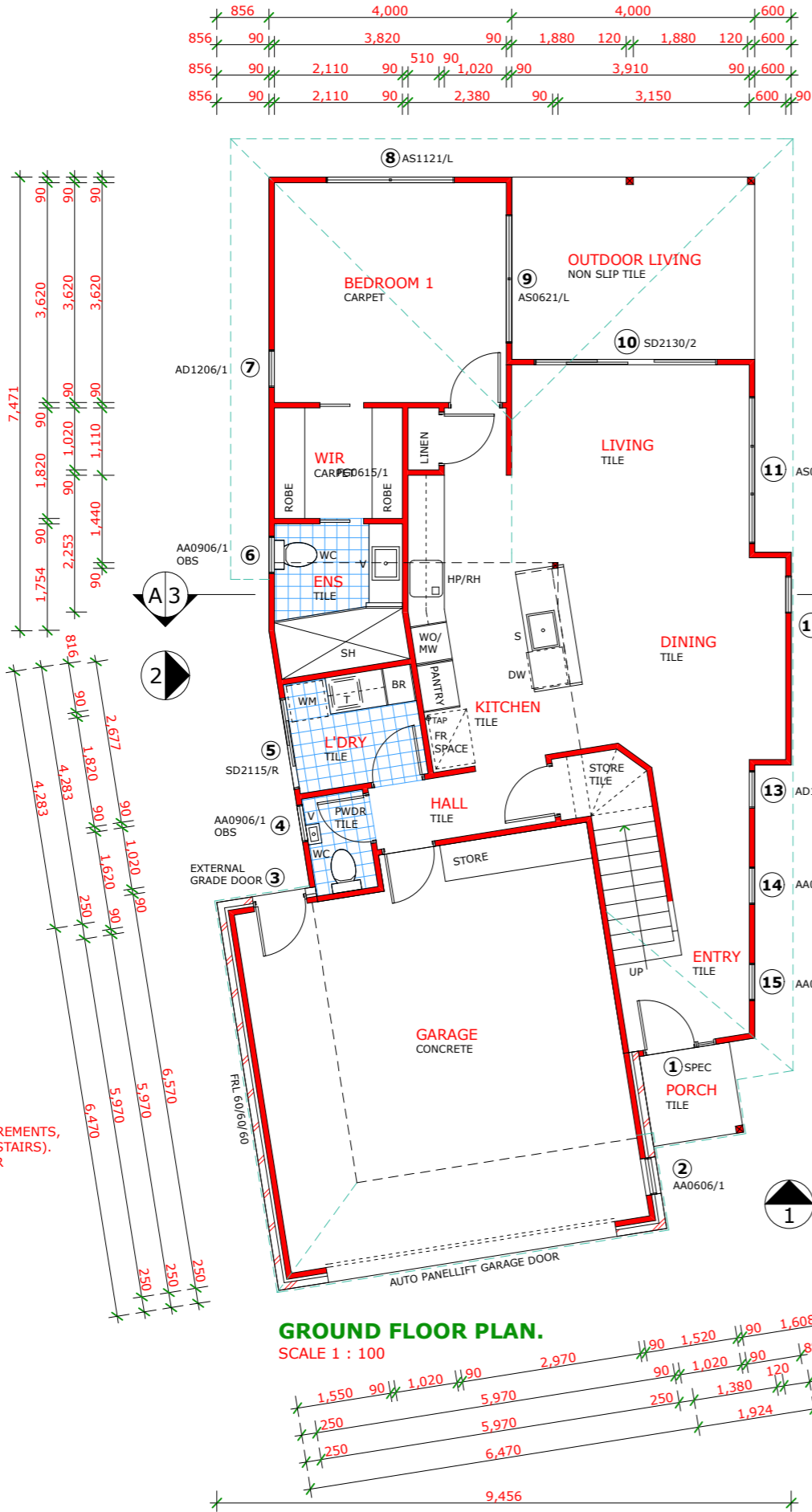
AT.

NOTE.
ALL FIRST FLOOR WINDOWS TO BE IN ACCORDANCE WITH
BCA. VOLUME 2. CLAUSE 3.9.2.5. PROTECTION OF OPENABLE WINDOWS.
LOUVRE AND AWNING WINDOWS OPENABLE PORTION TO BE PROTECTED WITH.
(A). A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENING.
(B). A SCREEN WITH SECURE FITTINGS.

DWELLING BASIX REQUIREMENTS.
REFER BASIX CERTIFICATE. NUMBER 1197070M FOR WATER,
THERMAL COMFORT & ENERGY REQUIREMENTS.
HOT WATER SYSTEM TO BE A SOLAR (ELECTRIC BOOSTED) SYSTEM.
PERFORMANCE OF 31 TO 35 STC'S OR BETTER.
THAT IS ELIGIBLE TO CREATE RENEWABLE ENERGY CERTIFICATES
UNDER RENEWABLE ENERGY REGULATIONS 2001.
(AMENDMENT REGULATIONS 2005 No 2).
ROOF INSULATION
PROVIDE 60MM REFLECTIVE FOIL BLANKET.
TO UNDERSIDE OF ROOF SHEETING THROUGHOUT.
MIN. R3.5 INSULATION TO CEILINGS
MIN. R2.0 INSULATION BETWEEN GARAGE & FLOOR ABOVE
MIN. R2.5 INSULATION OVER RAKING CEILINGS
EXTERNAL WALL INSULATION.
MIN R2.5 90MM BULK INSULATION TO ALL TIMBER FRAME EXTERNAL WALLS.
EXTERNAL FLOOR. MIN. R1.0 EDGE SLAB PROTECTION.
INTERNAL WALL INSULATION.
MIN R2.0 90MM BULK INSULATION BETWEEN GARAGE & LIVING AREAS.
ALL SHOWERHEADS TO HAVE A MINIMUM 3 STAR RATING.
(>7.5 but <=9 L/Min)
ALL TOILETS TO HAVE A MINIMUM 3 STAR RATING.
AND BE DUAL FLUSH.
SINK AND BASIN TAPS TO HAVE A MINIMUM 3 STAR RATING.
EXTERNAL COLOUR SCHEME
ROOF SHEETING. COLORBOND. DARK COLOUR.
CEILING FANS TO A MINIMUM OF 1 LIVING AREA AND 1 BEDROOM
WINDOWS, DOORS TO BE IN ACCORDANCE WITH
THERMAL COMFORT COMMITMENTS. BASIX CERTIFICATE NUMBER 1197070M.

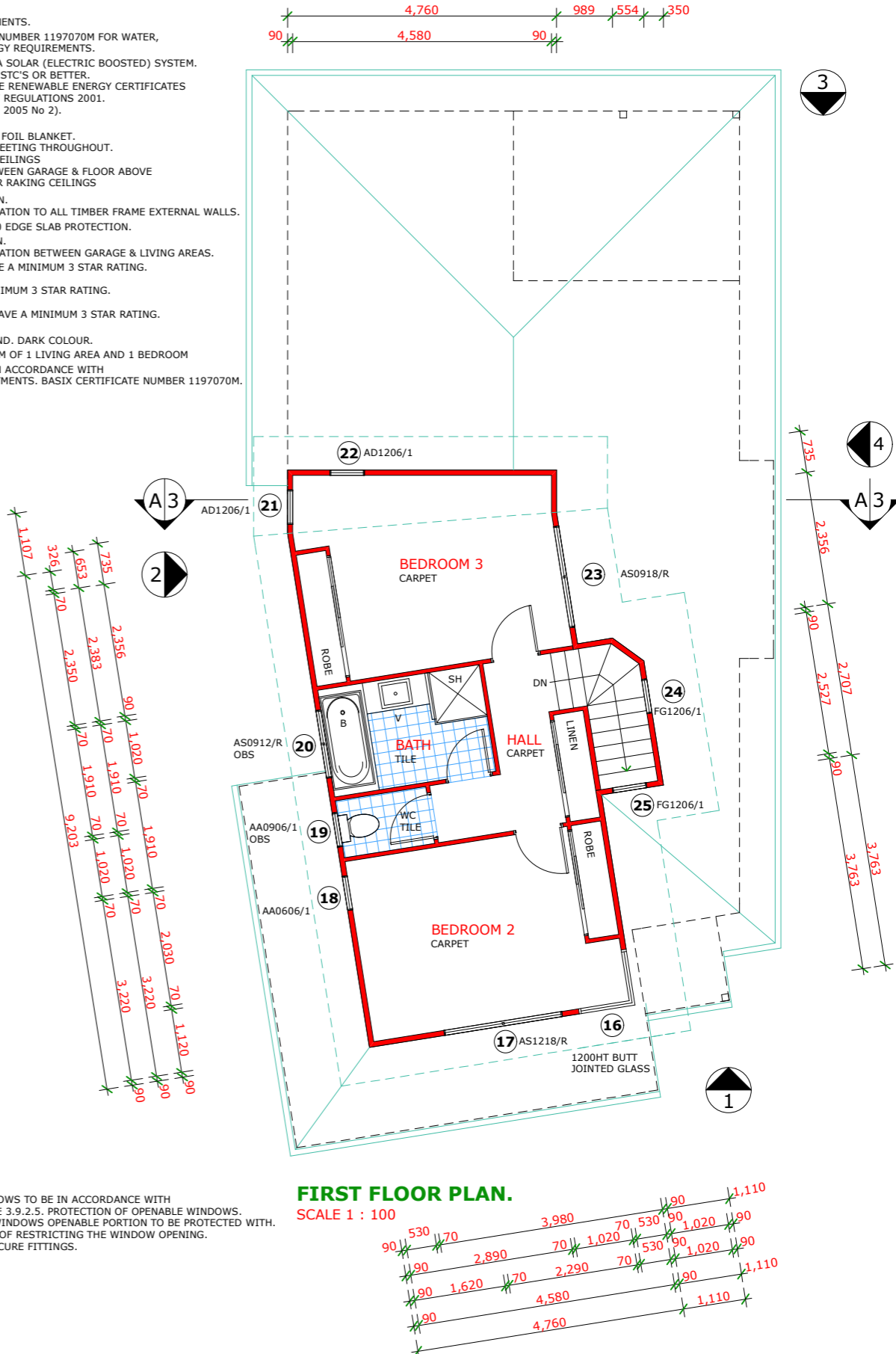
GROUND FLOOR PLAN.

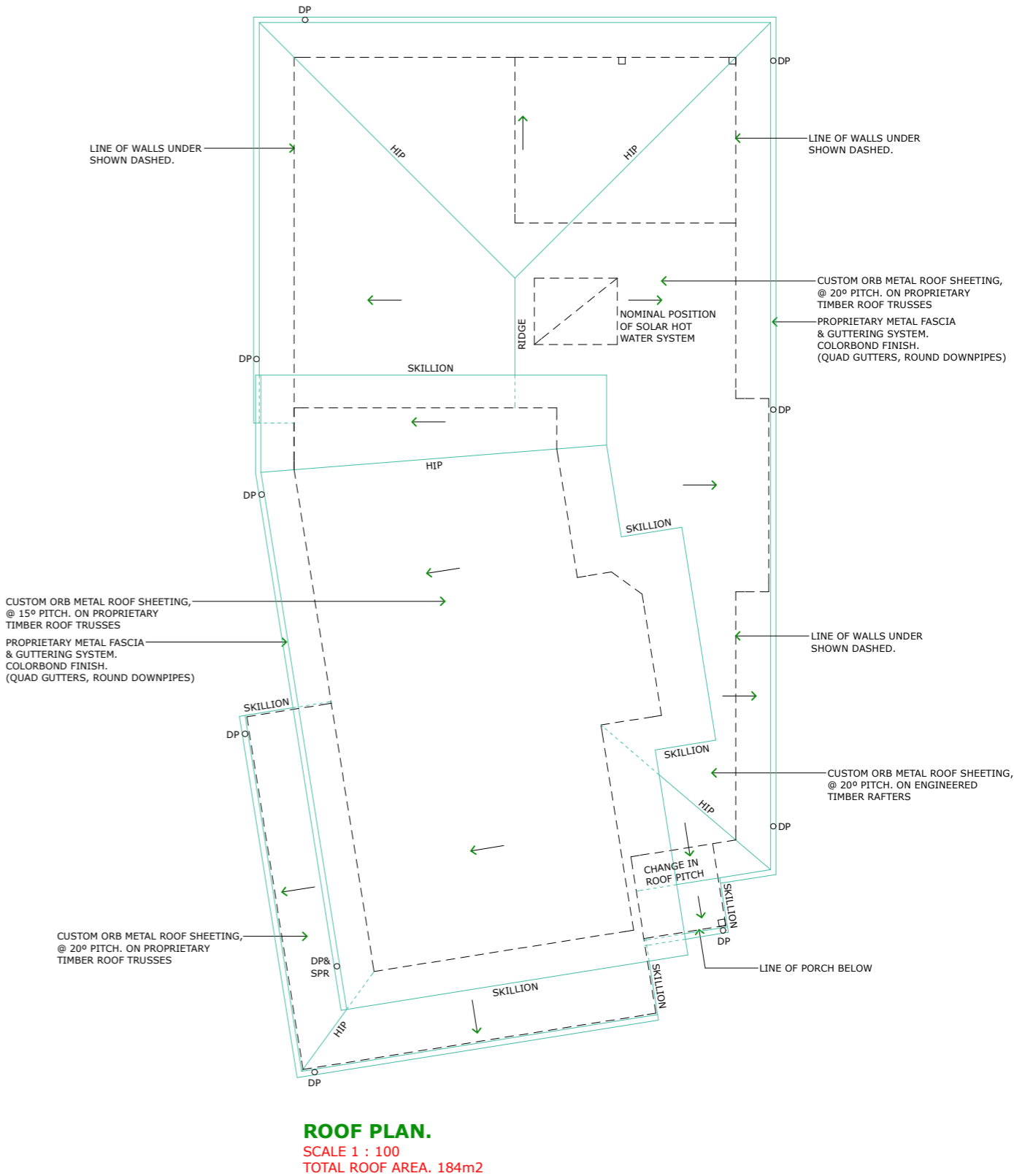
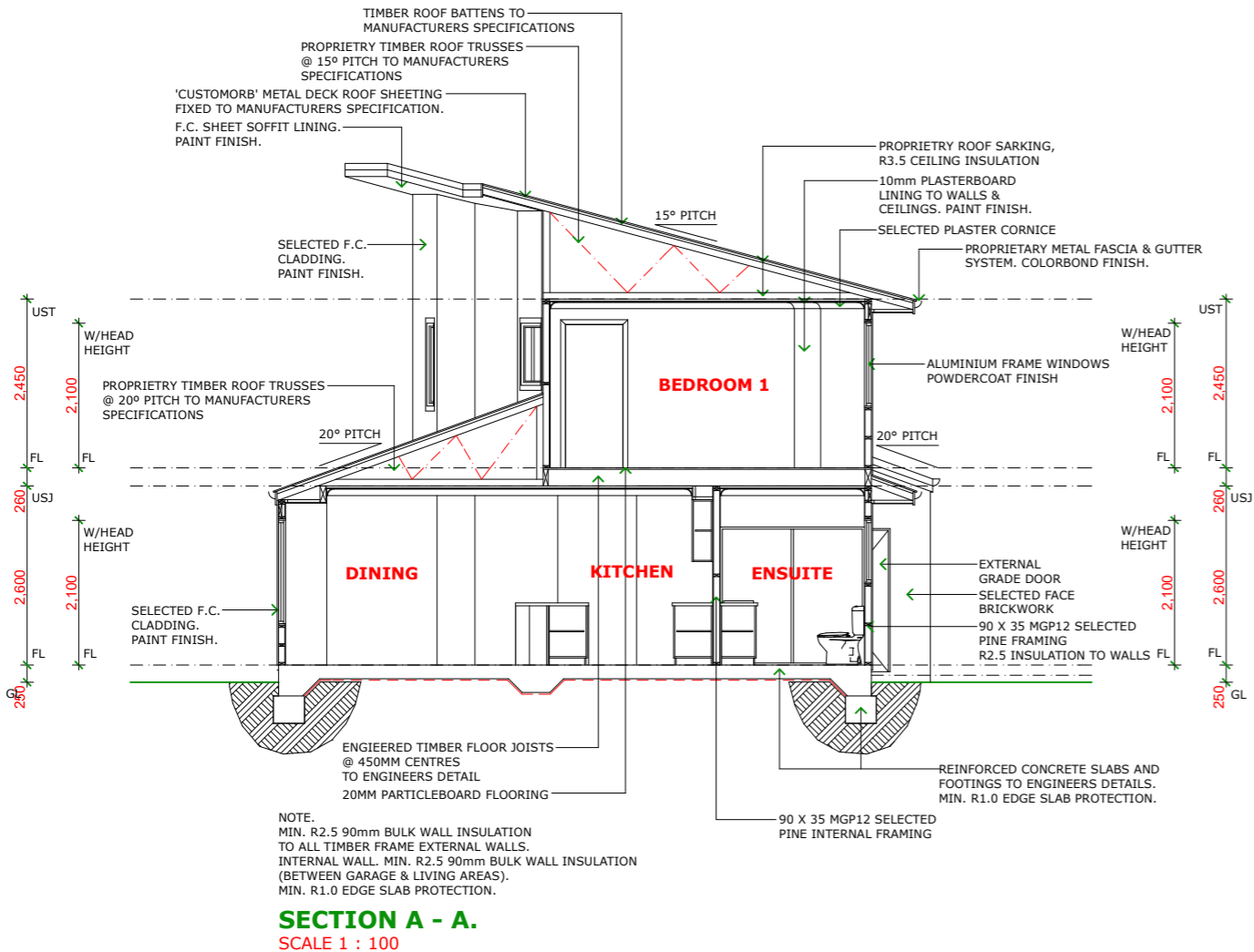
SCALE 1 : 100



FIRST FLOOR PLAN.

SCALE 1 : 100





NOTE.
ALL DOWNPIPES TO BE CONNECTED TO
ON-SITE STORMWATER DRAINAGE SYSTEM.
REFER TO ENGINEERS DETAILS FOR NOMINAL LOCATIONS.

DWELLING 15
CONSTRUCTION SECTION, ROOF PLAN
SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

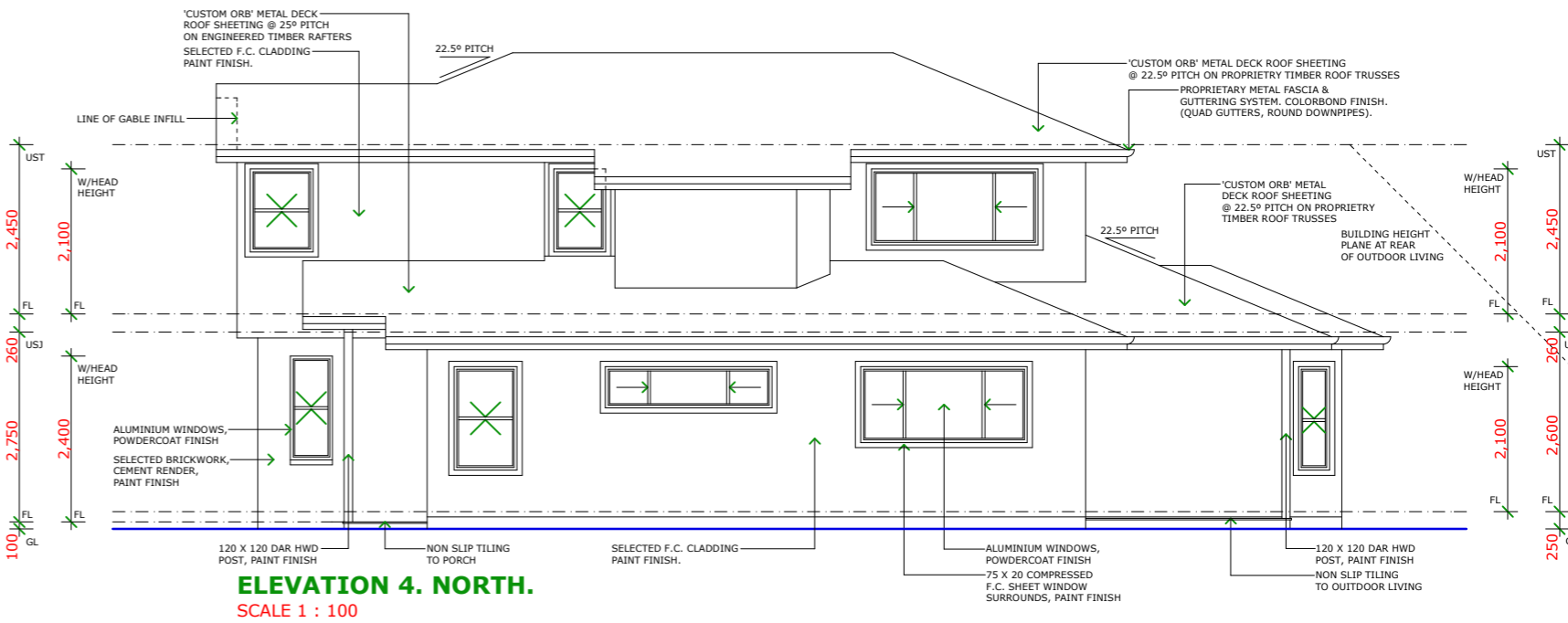
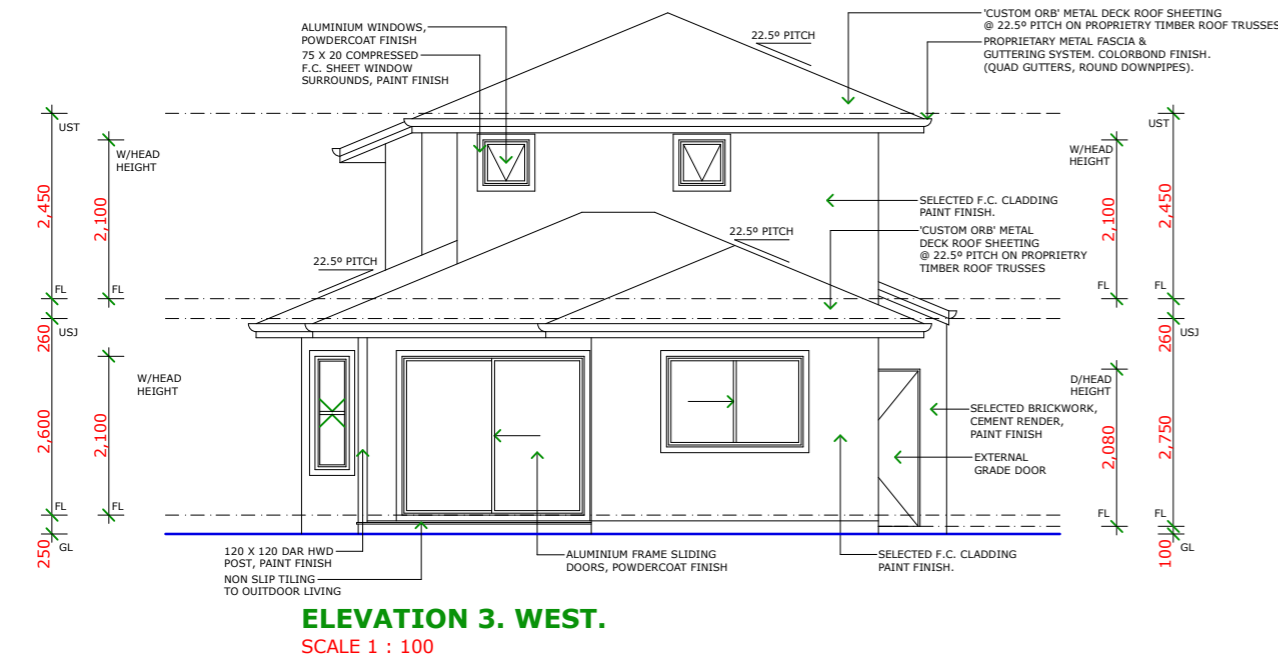
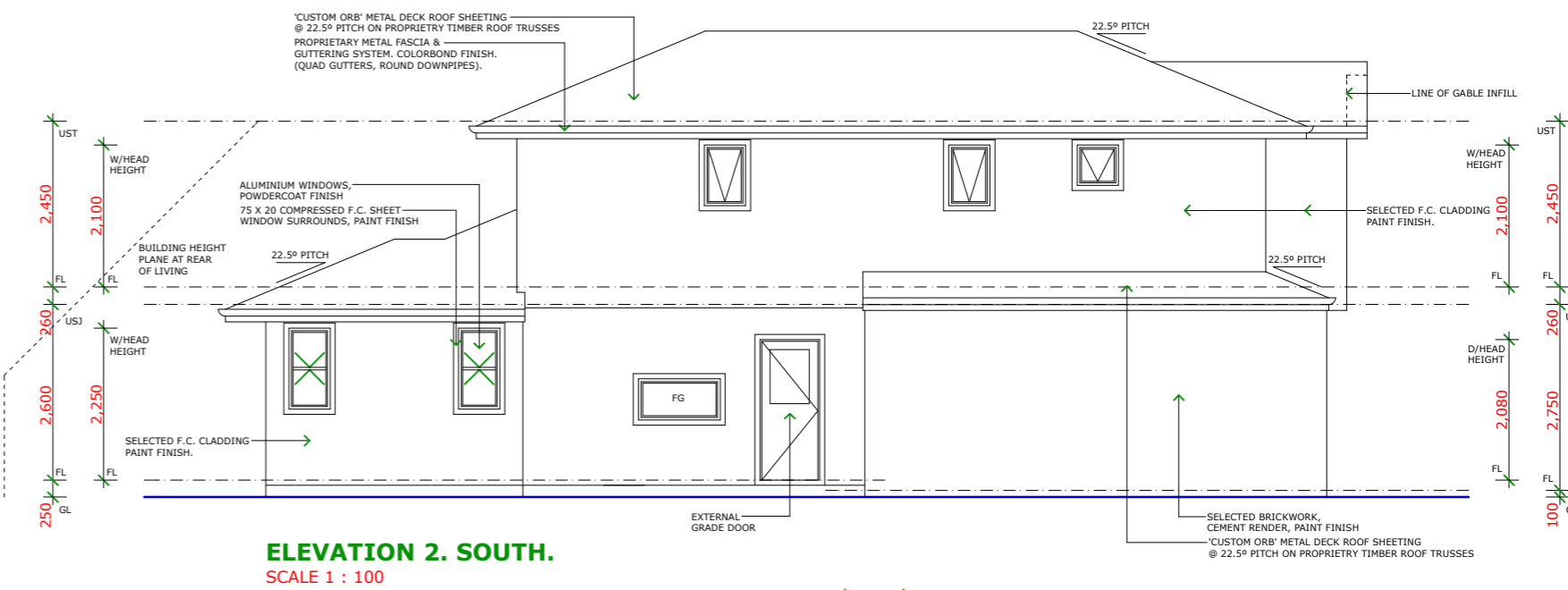
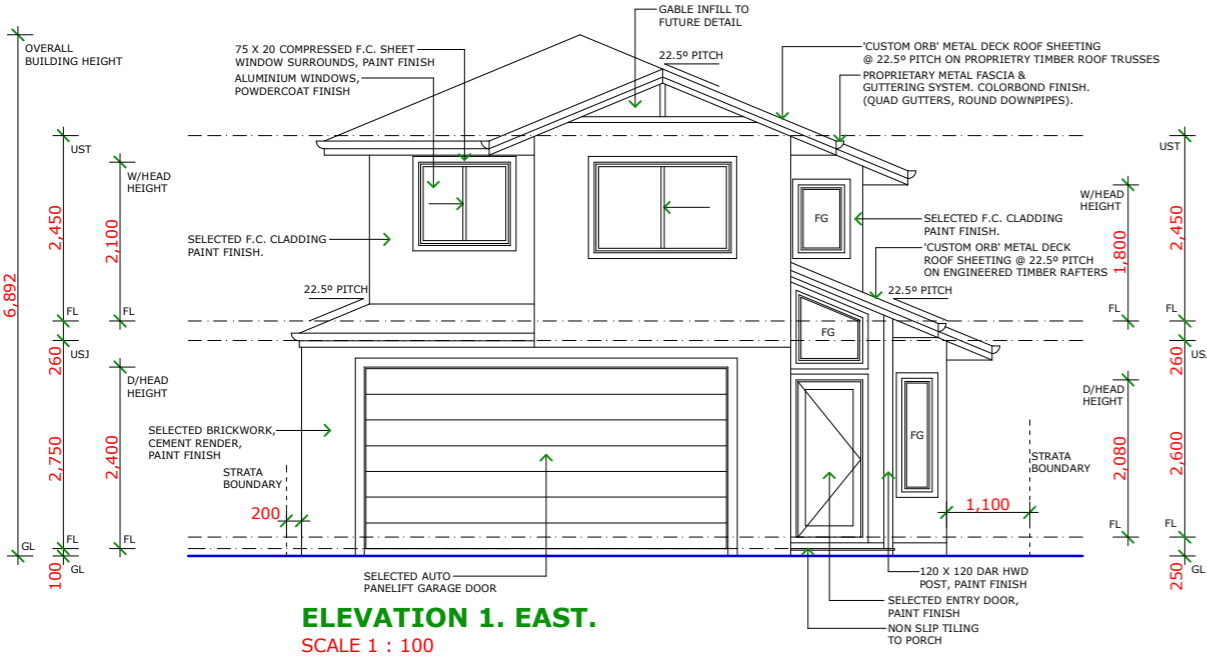
Design & Documentation by Douglas Cope.
QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

DATE. APR, 21	DRAWING TITLE. CONST. SECTION, ROOF PLAN.
DRAWN. D.C.	PROJECT No. B1161 DWG No. D15/3
SCALE. 1 : 100	

ppdc
49 Kingsley Lane
Byron Bay NSW 2481
Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222, QBSA Licence No. 1037753.



DWELLING 16
ELEVATIONS
SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

FOR. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

Mr J. & Mrs G. Mills.

Design & Documentation by Douglas Cope. QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

DATE. APR, 21
DRAWN. D.C.
SCALE. 1 : 100

DRAWING TITLE. **ELEVATIONS.**
PROJECT No. **B1161** DWG No. **D16/2**

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc
Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.

AREA SCHEDULE.
FLOOR SPACE RATIO.

MEASURED TO THE INSIDE
FACE OF THE EXTERNAL WALLS.
NOT INCLUDING CARPARKING REQUIREMENTS,
AREA FOR VERTICAL CIRCULATION. (STAIRS).
TERRACES & BALCONIES WITH OUTER
WALLS LESS THAN 1.4 METRES HIGH.
GROUND FLOOR LIVING 59.6m2
FIRST FLOOR LIVING 62.3m2

TOTAL AREA 121.9m2

AREA SCHEDULE

GROUND FLOOR LIVING 62.5m2
GARAGE 41.6
PORCH 1.6
OUTDOOR LIVING 9.1
FIRST FLOOR LIVING 68.5m2

TOTAL AREA 183.3m2

DWELLING 16
FLOOR PLANS

SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

Design & Documentation by Douglas Cope. QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

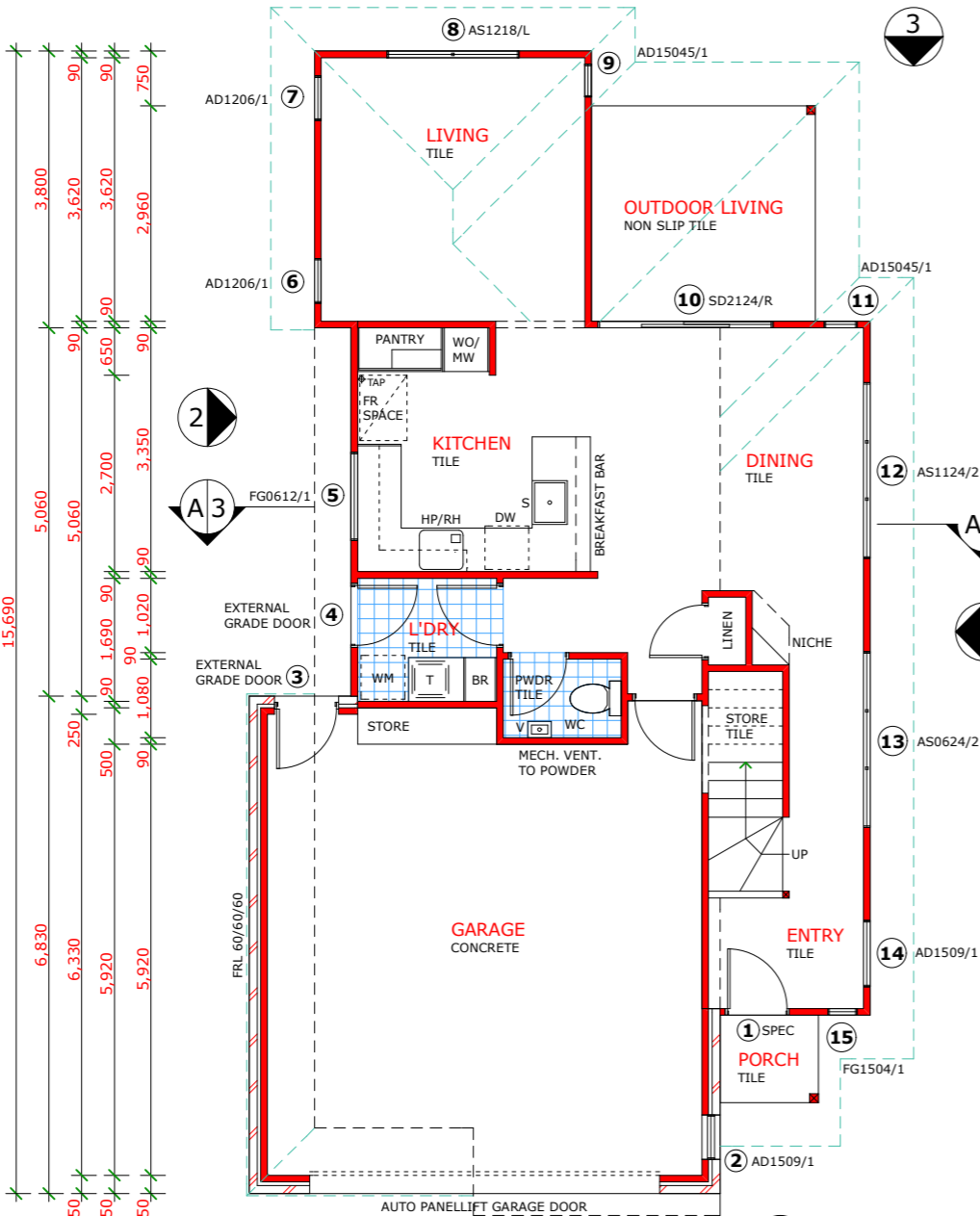
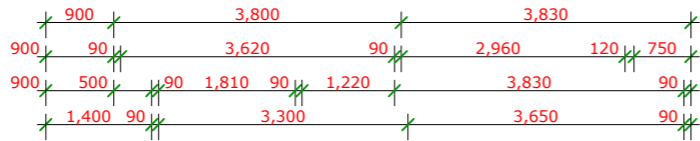
DATE. APR, 21
DRAWN. D.C.
SCALE. 1 : 100

DRAWING TITLE. **FLOOR PLANS.**
PROJECT No. **B1161** DWG No. **D16/1**

49 Kingsley Lane
Byron Bay NSW 2481

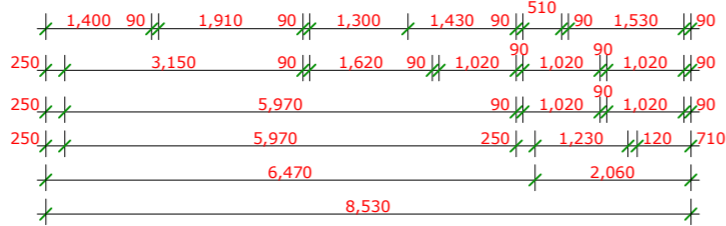
Ppdc
Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants|Architectural Designers
RAIA 25222, QBSA Licence No. 1037753.

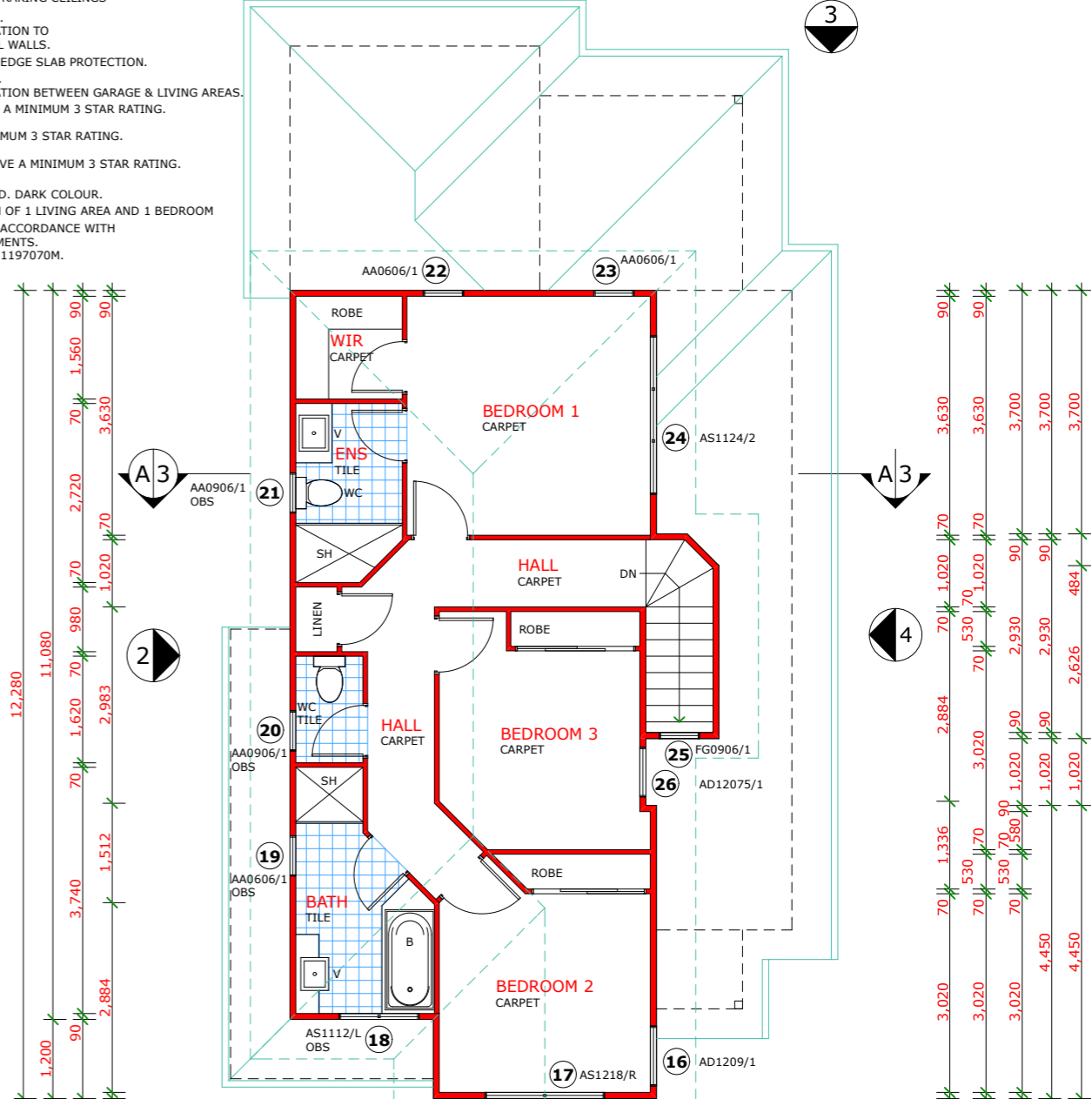
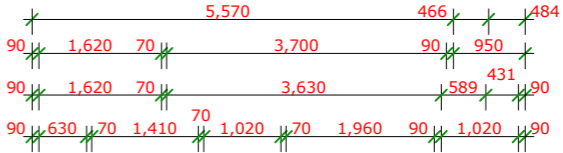


GROUND FLOOR PLAN.

SCALE 1 : 100

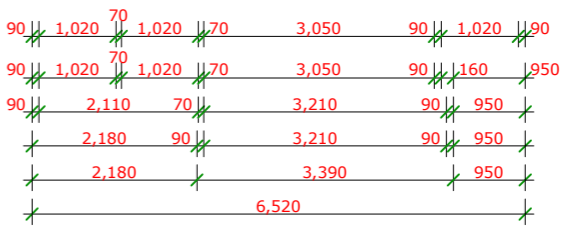


DWELLING BASIX REQUIREMENTS.
REFER BASIX CERTIFICATE. NUMBER 1197070M FOR WATER,
THERMAL COMFORT & ENERGY REQUIREMENTS.
HOT WATER SYSTEM TO BE A SOLAR (ELECTRIC BOOSTED) SYSTEM.
PERFORMANCE OF 31 TO 35 STC'S OR BETTER.
THAT IS ELIGIBLE TO CREATE RENEWABLE ENERGY CERTIFICATES
UNDER RENEWABLE ENERGY REGULATIONS 2001.
(AMENDMENT REGULATIONS 2005 No 2).
ROOF INSULATION
PROVIDE 60MM REFLECTIVE FOIL BLANKET.
TO UNDERSIDE OF ROOF SHEETING THROUGHOUT.
MIN. R3.5 INSULATION TO CEILINGS
MIN. R2.0 INSULATION BETWEEN GARAGE & FLOOR ABOVE
MIN. R2.5 INSULATION OVER RAKING CEILINGS
EXTERNAL WALL INSULATION.
MIN R2.7 90MM BULK INSULATION TO
ALL TIMBER FRAME EXTERNAL WALLS.
EXTERNAL FLOOR. MIN. R1.0 EDGE SLAB PROTECTION.
INTERNAL WALL INSULATION.
MIN R2.0 90MM BULK INSULATION BETWEEN GARAGE & LIVING AREAS.
ALL SHOWERHEADS TO HAVE A MINIMUM 3 STAR RATING.
(>7.5 but <=9 L/Min)
ALL TOILETS TO HAVE A MINIMUM 3 STAR RATING.
AND BE DUAL FLUSH.
SINK AND BASIN TAPS TO HAVE A MINIMUM 3 STAR RATING.
EXTERNAL COLOUR SCHEME
ROOF SHEETING. COLORBOND. DARK COLOUR.
CEILING FANS TO A MINIMUM OF 1 LIVING AREA AND 1 BEDROOM
WINDOWS, DOORS TO BE IN ACCORDANCE WITH
THERMAL COMFORT COMMITMENTS.
BASIX CERTIFICATE NUMBER 1197070M.



FIRST FLOOR PLAN.

SCALE 1 : 100



NOTE.
ALL FIRST FLOOR WINDOWS TO BE IN ACCORDANCE WITH
BCA. VOLUME 2. CLAUSE 3.9.2.5. PROTECTION OF OPENABLE WINDOWS.
LOUVRE AND AWNING WINDOWS OPENABLE PORTION TO BE PROTECTED WITH.
(A). A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENING.
(B). A SCREEN WITH SECURE FITTINGS.

SCALE 1 : 100

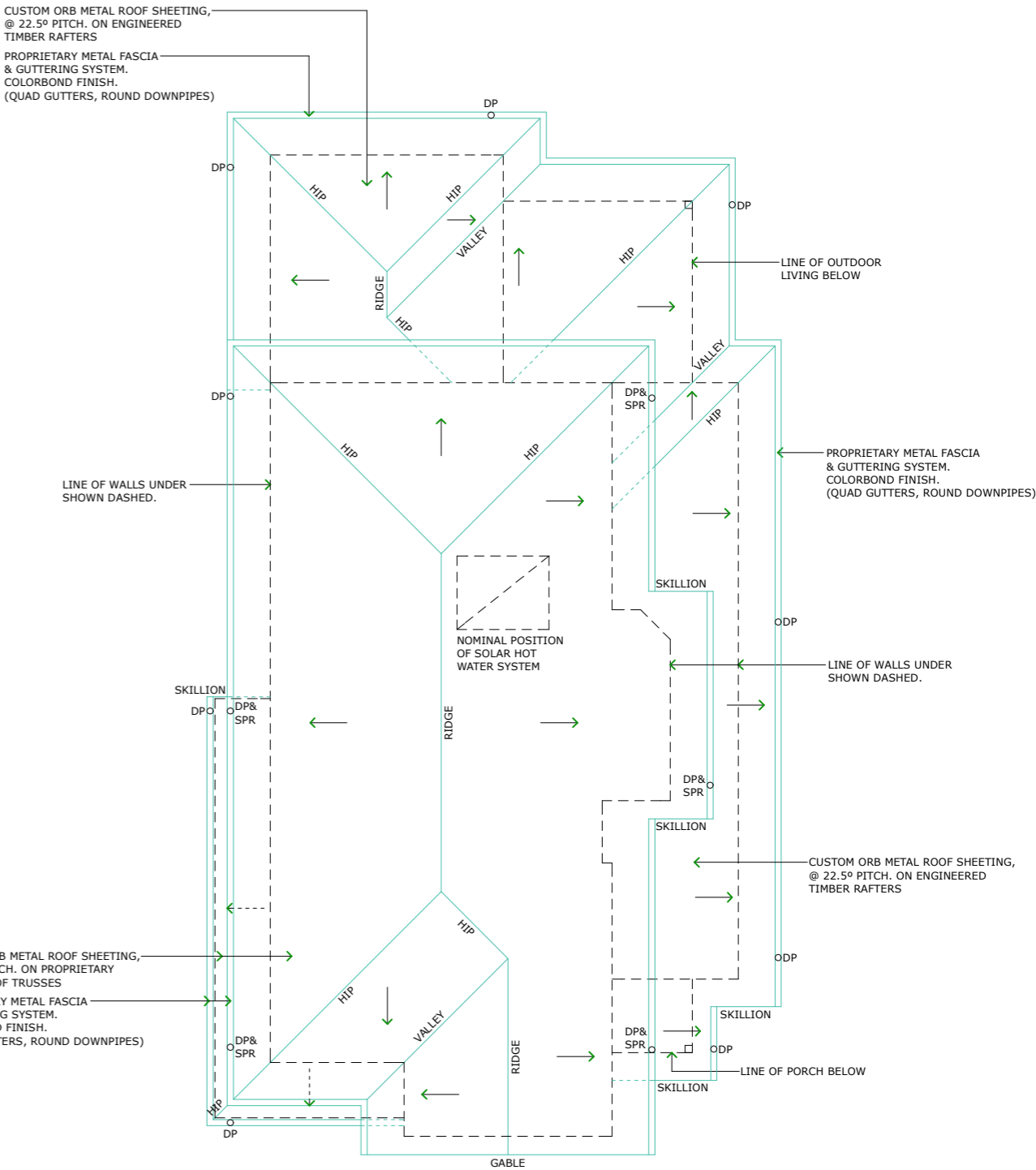
[illegible]

PROJECT.

Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.

FOR

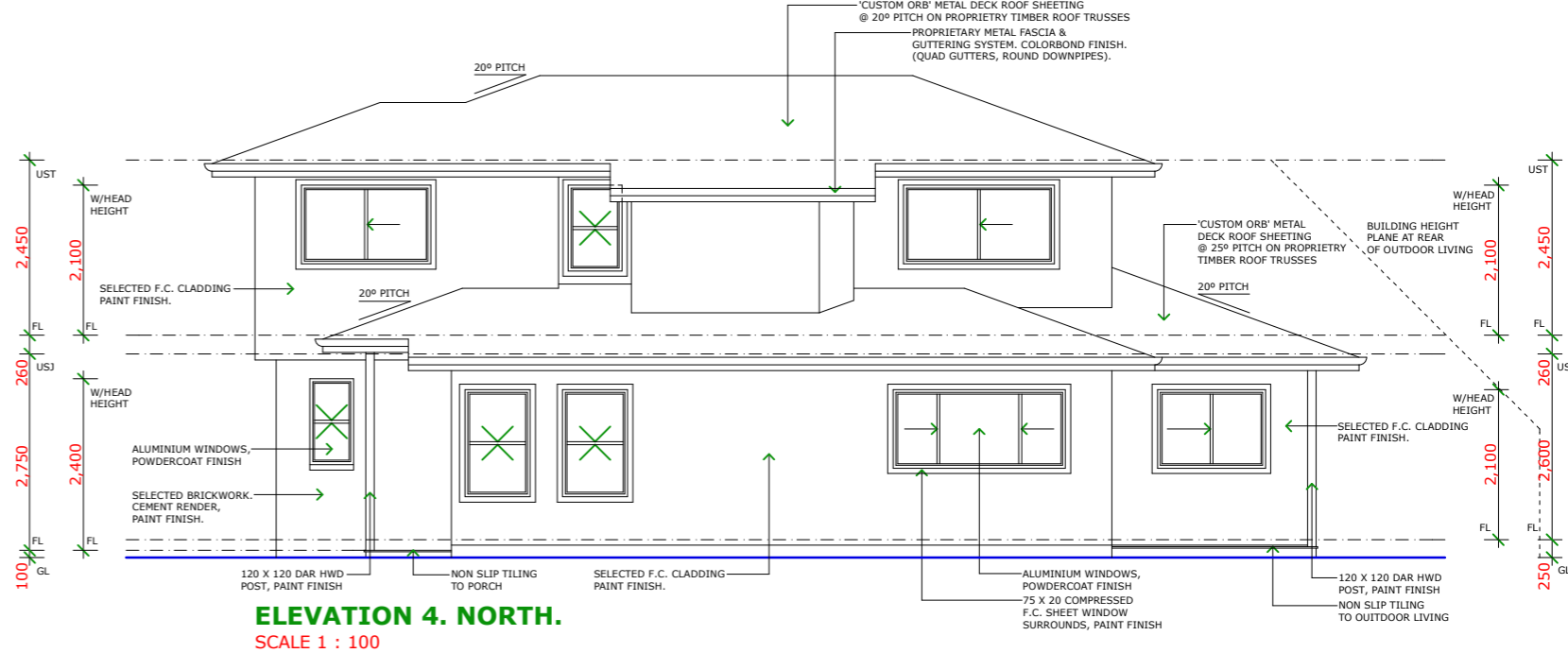
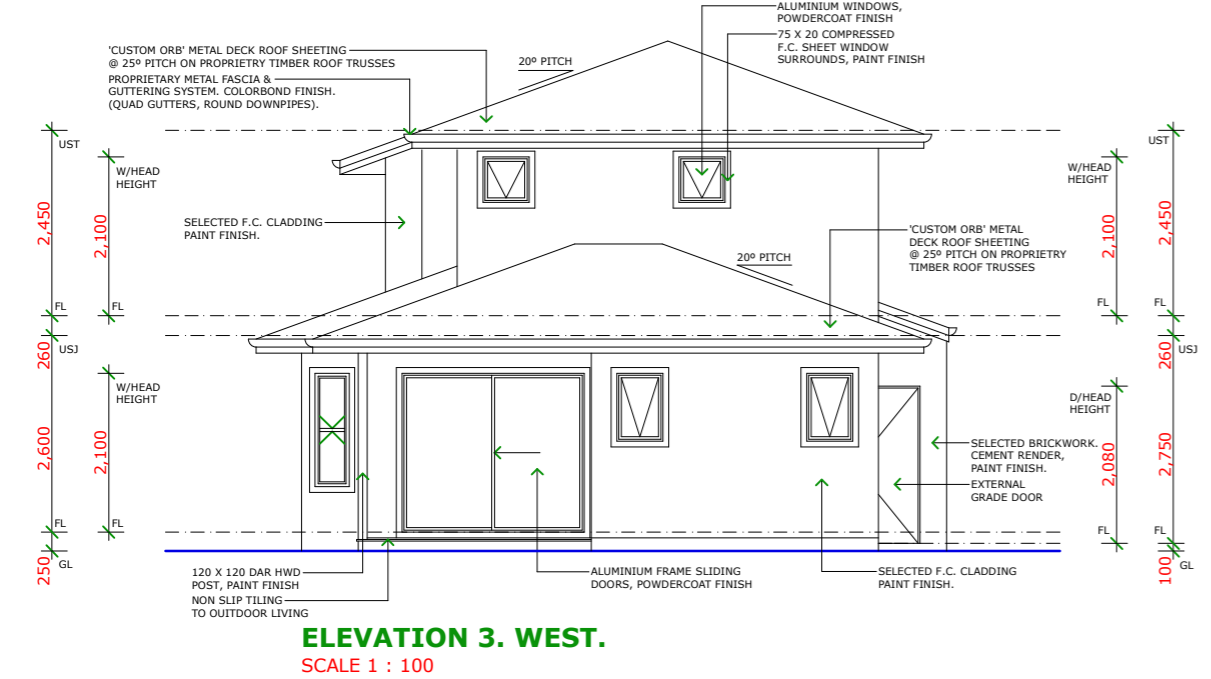
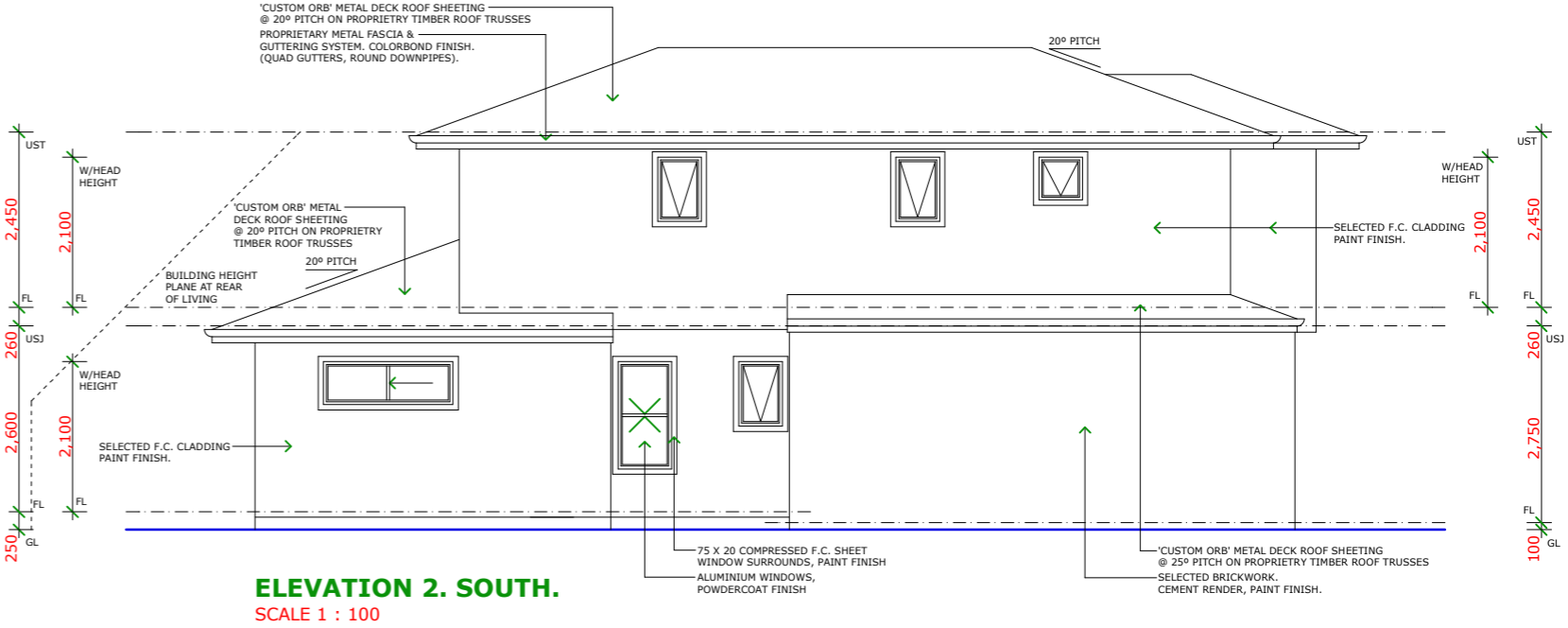
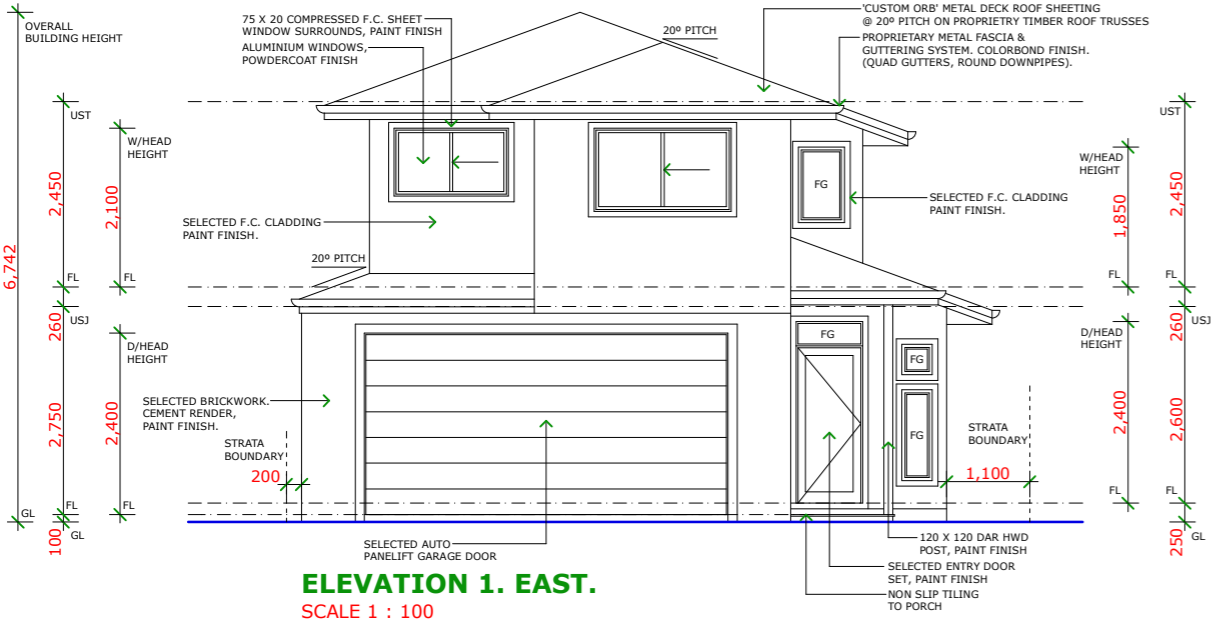
Mr J. & Mrs G. Mills.



ROOF PLAN.
SCALE 1 : 100
TOTAL ROOF AREA. 159m2

Design & Documentation by Douglas Cope.		QBSA Licence No. 1037753 ABN. 86 86 17 34 484	
<p>All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.</p>			
DATE. APR. 21	DRAWING TITLE. CONST. SECTION, ROOF PLAN.		
DRAWN. D.C.	PROJECT No. B1161 DWG No. D16/3A		
SCALE. 1 : 100			

ppdc 49 Kingsley Lane
Byron Bay NSW 2481
Mob. 0401 000126
Email doug@ppdc.com.au
prestige properties design & construction
Development Consultants|Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.



DWELLING 17
ELEVATIONS
SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

FOR. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

Mr J. & Mrs G. Mills.

Design & Documentation by Douglas Cope. QBASA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

DATE. APR, 21
DRAWN. D.C.
SCALE. 1 : 100

DRAWING TITLE. **ELEVATIONS.**
PROJECT No. **B1161** DWG No. **D17/2**

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc

Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222, QBASA Licence No. 1037753.

AREA SCHEDULE.
FLOOR SPACE RATIO.
MEASURED TO THE INSIDE
FACE OF THE EXTERNAL WALLS.
NOT INCLUDING CARPARKING REQUIREMENTS,
AREA FOR VERTICAL CIRCULATION. (STAIRS).
TERRACES & BALCONIES WITH OUTER
WALLS LESS THAN 1.4 METRES HIGH.
GROUND FLOOR LIVING 55.4m2
FIRST FLOOR LIVING 60.9m2

TOTAL AREA 116.3m2

AREA SCHEDULE
GROUND FLOOR LIVING 58.1m2
GARAGE 42.1
PORCH 1.6
OUTDOOR LIVING 8.8
FIRST FLOOR LIVING 67.0m2

TOTAL AREA 177.6m2

DWELLING 17
FLOOR PLANS

SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

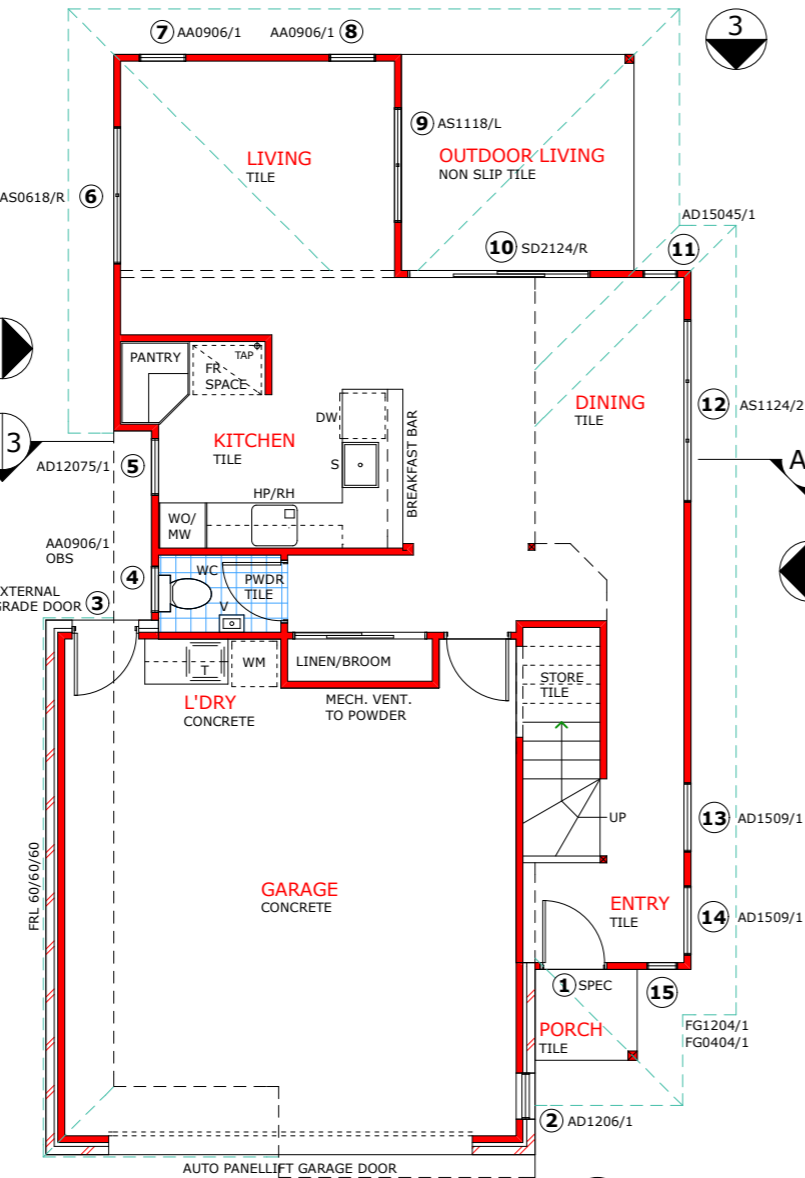
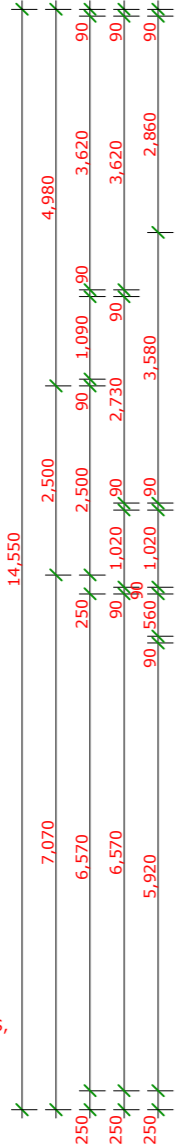
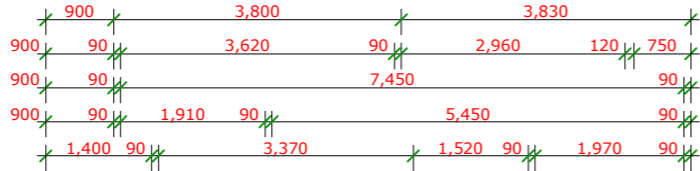
PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

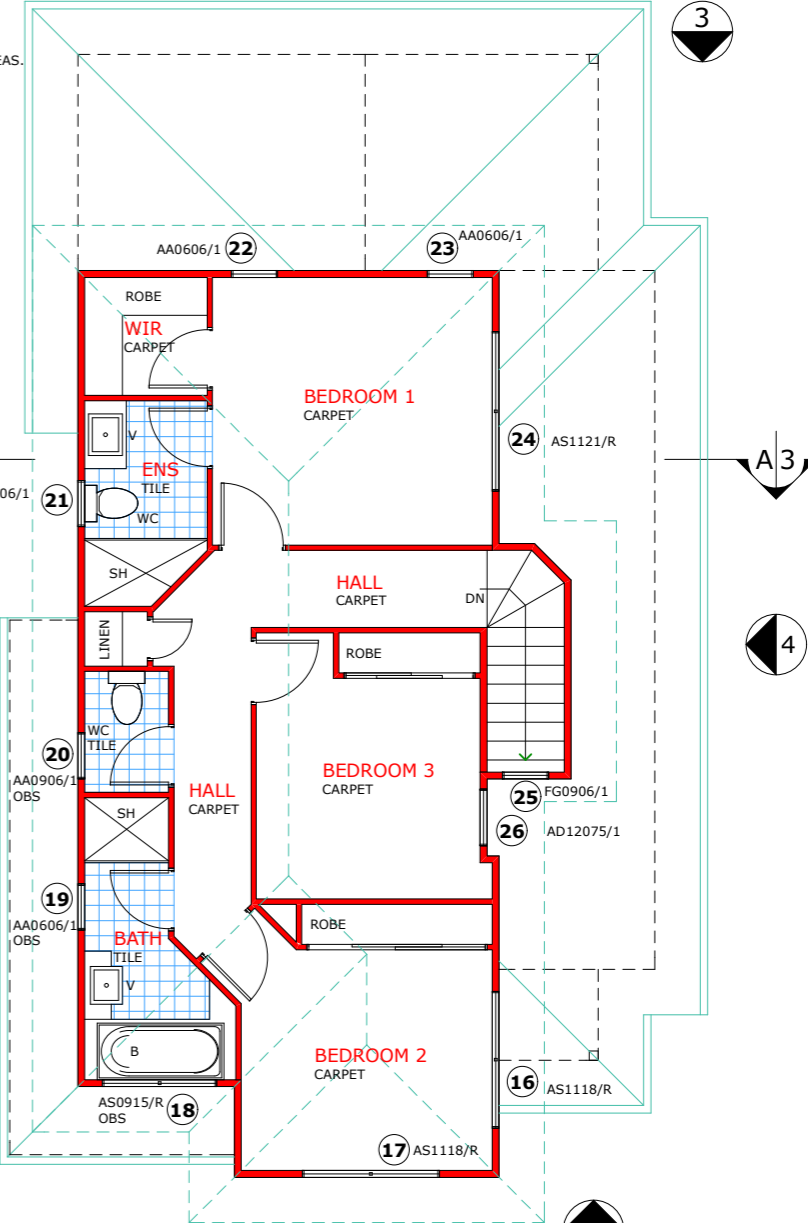
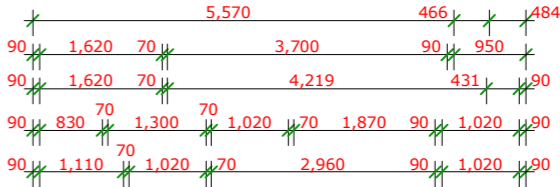
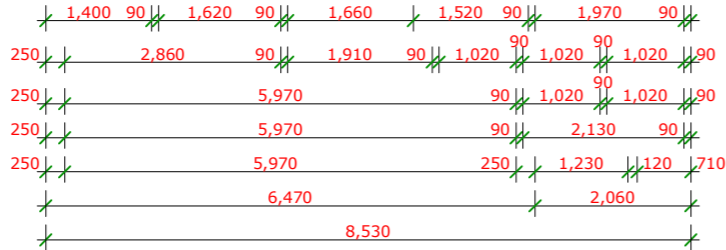
FOR. **Mr J. & Mrs G. Mills.**

DWELLING BASIX REQUIREMENTS.
REFER BASIX CERTIFICATE. NUMBER 1197070M FOR WATER,
THERMAL COMFORT & ENERGY REQUIREMENTS.
HOT WATER SYSTEM TO BE A SOLAR (ELECTRIC BOOSTED) SYSTEM.
PERFORMANCE OF 31 TO 35 STC'S OR BETTER.
THAT IS ELIGIBLE TO CREATE RENEWABLE ENERGY CERTIFICATES
UNDER RENEWABLE ENERGY REGULATIONS 2001.
(AMENDMENT REGULATIONS 2005 No 2).
ROOF INSULATION
PROVIDE 60MM REFLECTIVE FOIL BLANKET.
TO UNDERSIDE OF ROOF SHEETING THROUGHOUT.
MIN. R3.5 INSULATION TO CEILINGS
MIN. R2.0 INSULATION BETWEEN GARAGE & FLOOR ABOVE
MIN. R2.5 INSULATION OVER RAKING CEILINGS
EXTERNAL WALL INSULATION.
MIN R2.7 90MM BULK INSULATION TO
ALL TIMBER FRAME EXTERNAL WALLS.
EXTERNAL FLOOR. MIN. R1.0 EDGE SLAB PROTECTION.
INTERNAL WALL INSULATION.
MIN R2.0 90MM BULK INSULATION BETWEEN GARAGE & LIVING AREAS.
ALL SHOWERHEADS TO HAVE A MINIMUM 3 STAR RATING.
(>7.5 but <=9 L/Min)
ALL TOILETS TO HAVE A MINIMUM 3 STAR RATING.
AND BE DUAL FLUSH.
SINK AND BASIN TAPS TO HAVE A MINIMUM 3 STAR RATING.
EXTERNAL COLOUR SCHEME
ROOF SHEETING. COLORBOND. DARK COLOUR.
CEILING FANS TO A MINIMUM OF 1 LIVING AREA AND 1 BEDROOM
WINDOWS, DOORS TO BE IN ACCORDANCE WITH
THERMAL COMFORT COMMITMENTS.
BASIX CERTIFICATE NUMBER 1197070M.

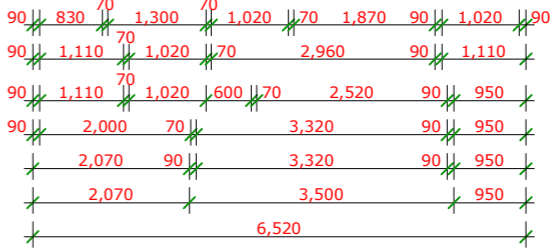
NOTE.
ALL FIRST FLOOR WINDOWS TO BE IN ACCORDANCE WITH
BCA. VOLUME 2. CLAUSE 3.9.2.5. PROTECTION OF OPENABLE WINDOWS.
LOUVRE AND AWNING WINDOWS OPENABLE PORTION TO BE PROTECTED WITH.
(A). A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENING.
(B). A SCREEN WITH SECURE FITTINGS.

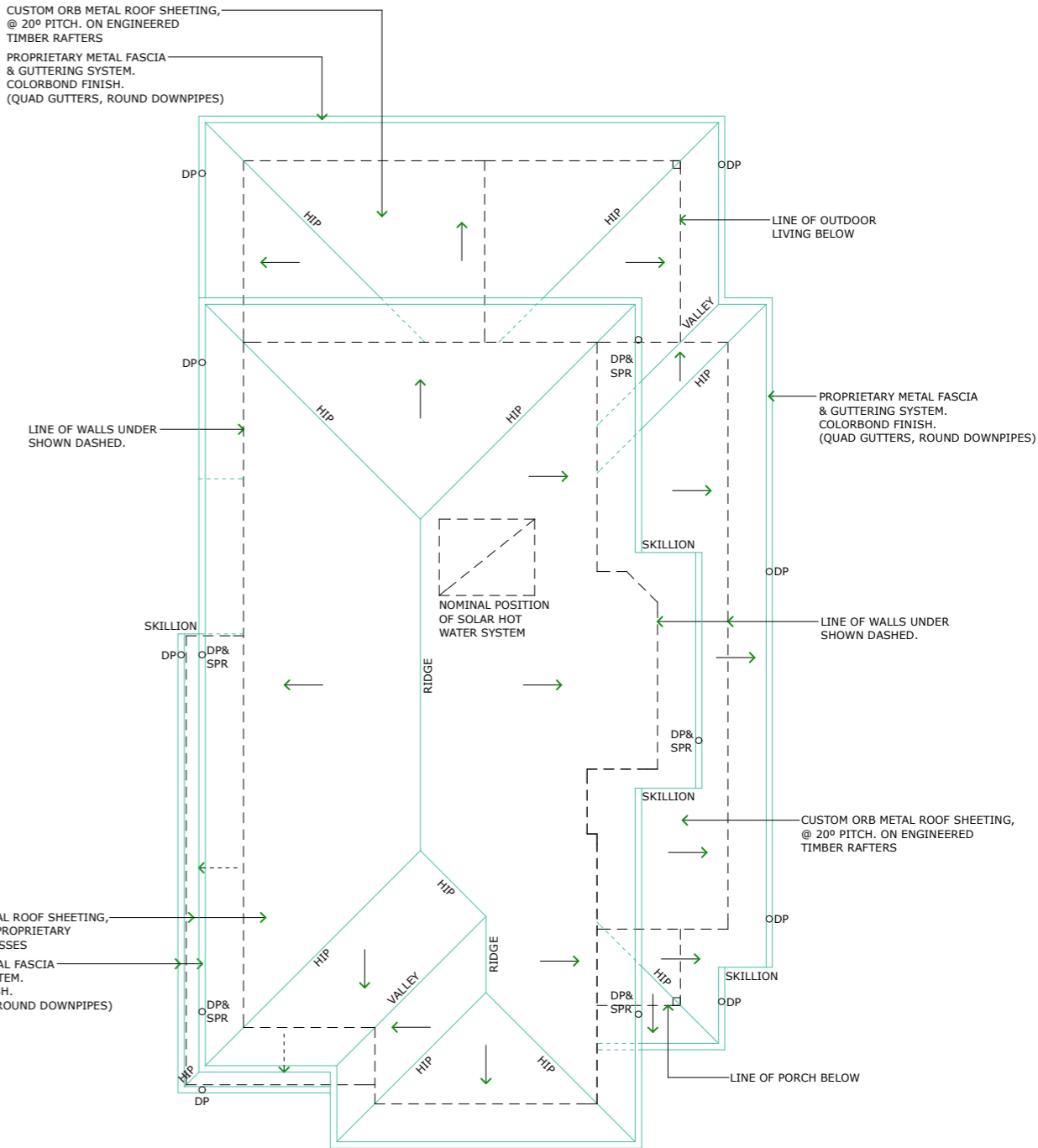
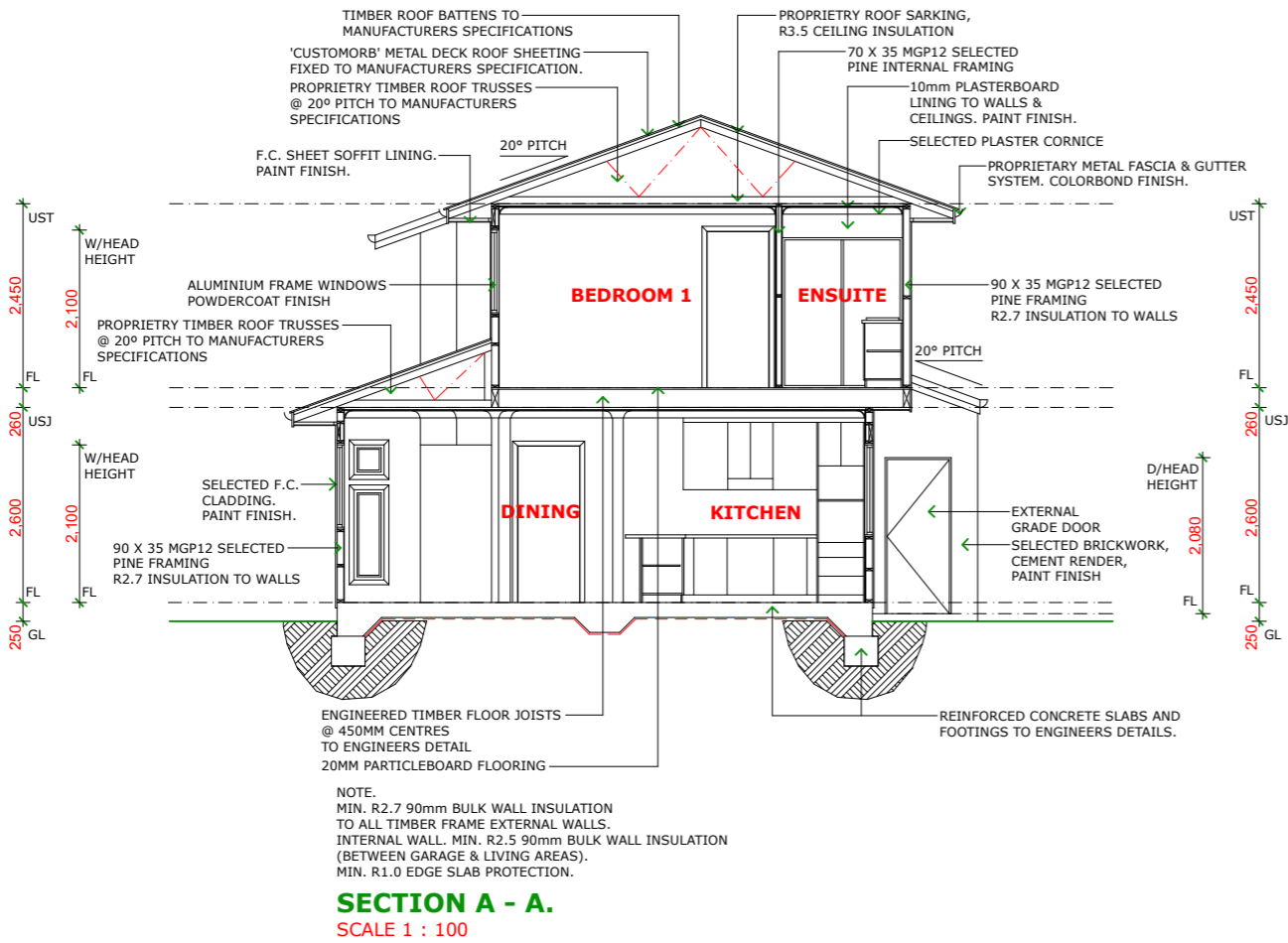


GROUND FLOOR PLAN.
SCALE 1 : 100



FIRST FLOOR PLAN.
SCALE 1 : 100





NOTE.
ALL DOWNPIPES TO BE CONNECTED TO
ON-SITE STORMWATER DRAINAGE SYSTEM.
REFER TO ENGINEERS DETAILS FOR NOMINAL LOCATIONS.

DWELLING 17

CONSTRUCTION SECTION, ROOF PLAN

SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

Design & Documentation by Douglas Cope. QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

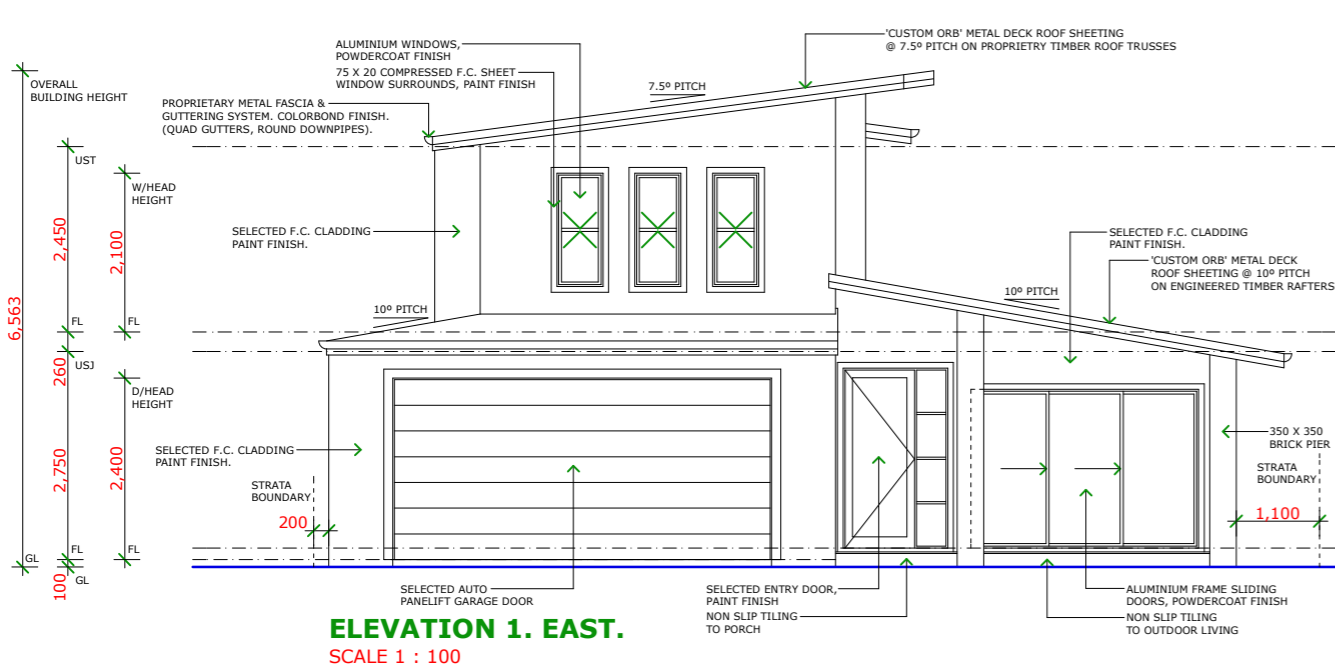
DATE. APR, 21
DRAWN. D.C.
SCALE. 1 : 100

DRAWING TITLE. **CONST. SECTION, ROOF PLAN.**
PROJECT No. **B1161** DWG No. **D17/3A**

49 Kingsley Lane
Byron Bay NSW 2481

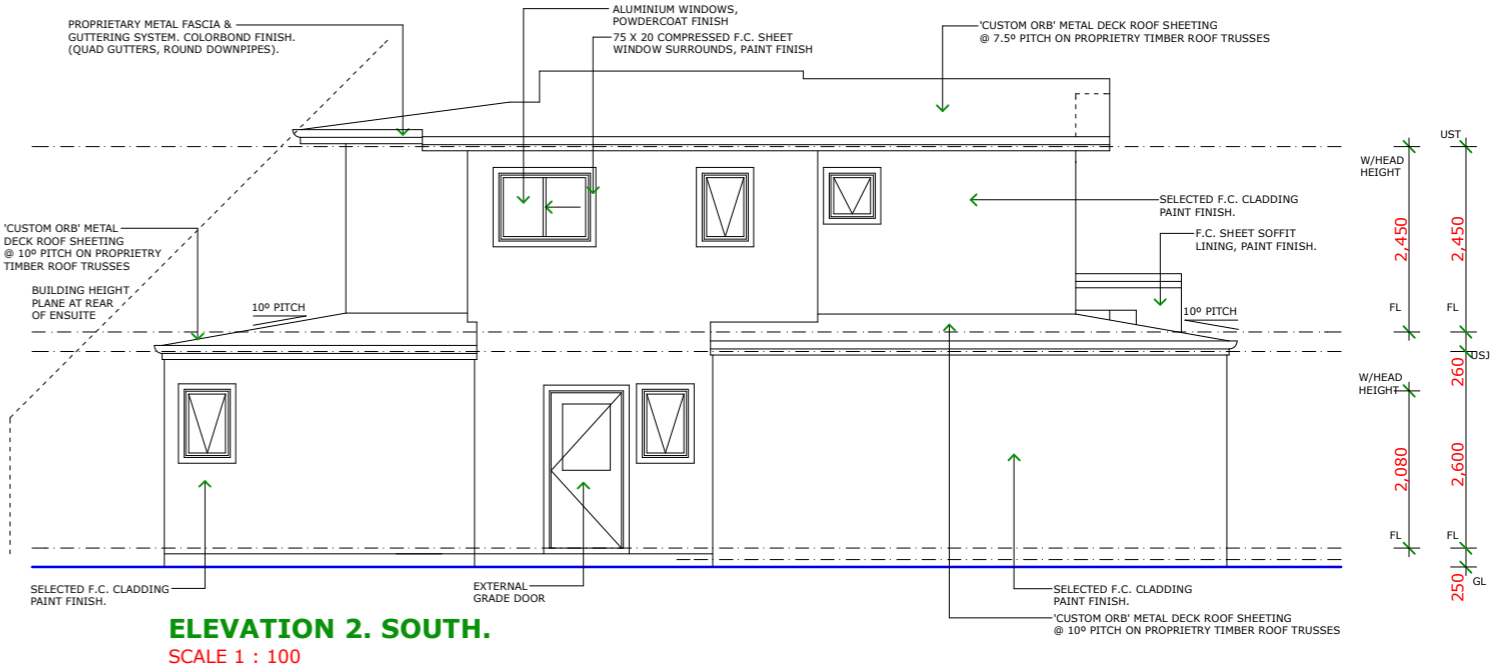
Ppdc
Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222, QBSA Licence No. 1037753.



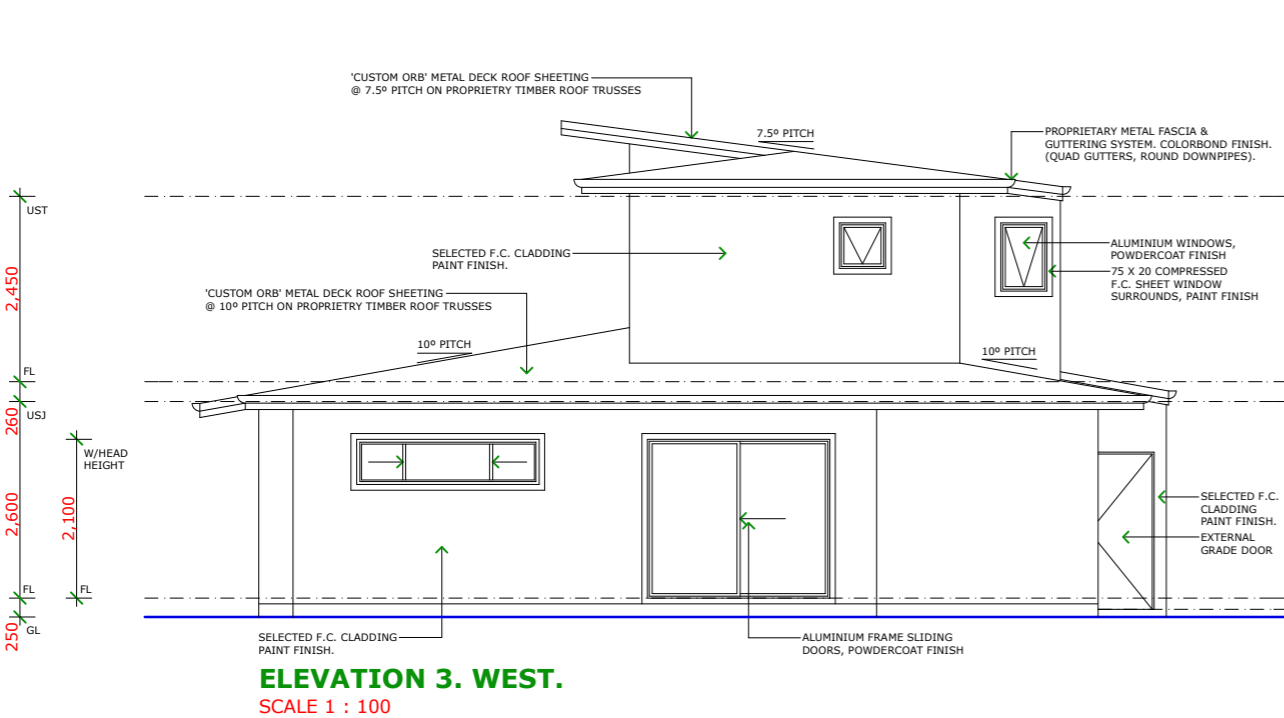
ELEVATION 1. EAST.

SCALE 1 : 100



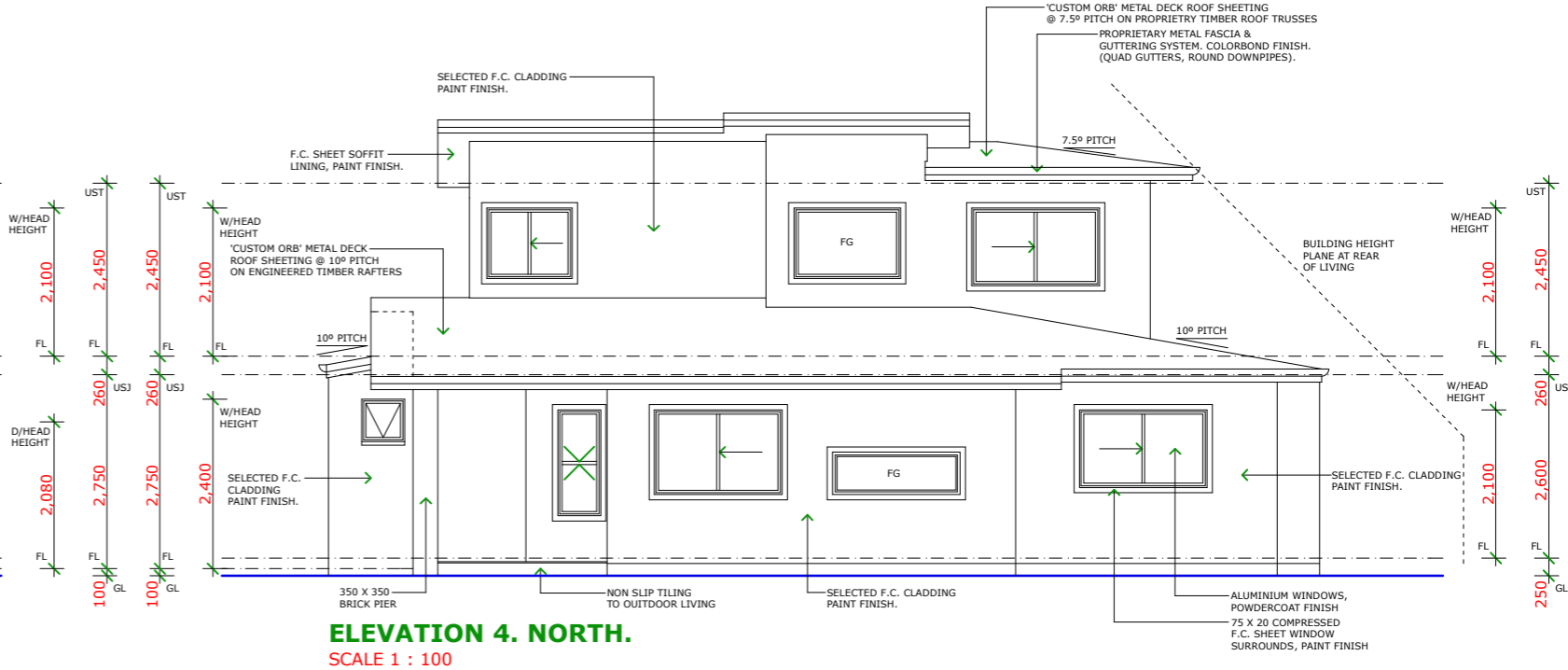
ELEVATION 2. SOUTH.

SCALE 1 : 100



ELEVATION 3. WEST.

SCALE 1 : 100



ELEVATION 4. NORTH.

SCALE 1 : 100

DWELLING 18 ELEVATIONS

SCALE 1 : 100

UPDATED DRAWING SUBMITTED 8/9/21

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

Design & Documentation by Douglas Cope.		QBSA Licence No. 1037753 ABN. 86 86 11 73 484	
All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.			
DATE. APR, 21	DRAWING TITLE. ELEVATIONS.		PROJECT No. B1161 DWG No. D18/2 _A
DRAWN. D.C.			
SCALE. 1 : 100			

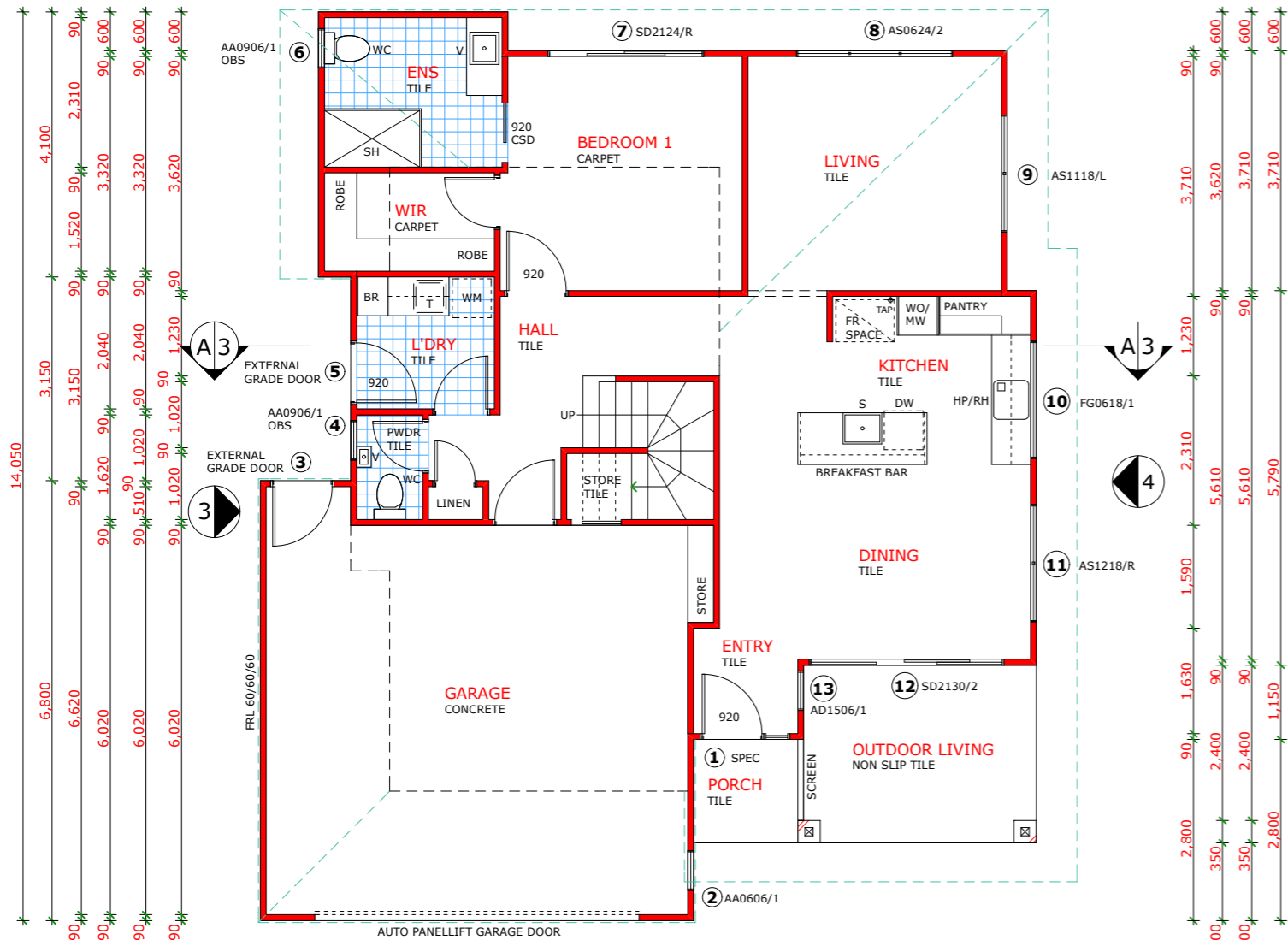
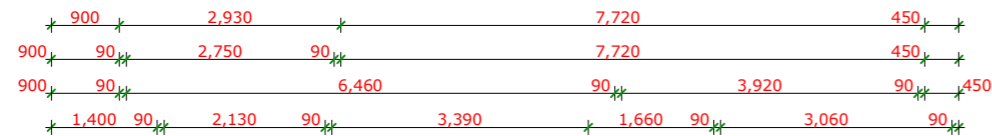
49 Kingsley Lane
Byron Bay NSW 2481

Ppdc

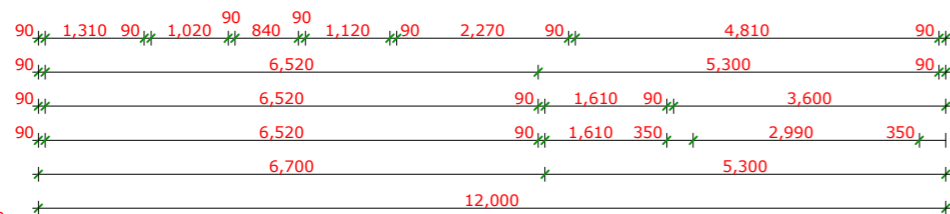
Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction

Development Consultants/Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.



GROUND FLOOR PLAN.
SCALE 1 : 100



AREA SCHEDULE

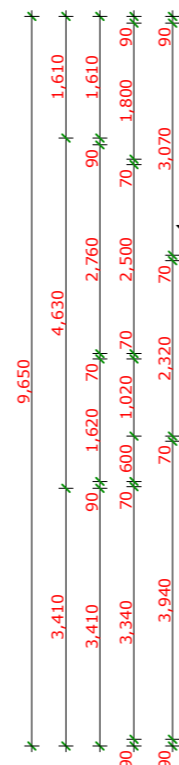
GROUND FLOOR LIVING	92.7m2
GARAGE	42.5
PORCH	2.7
OUTDOOR LIVING	10.0
FIRST FLOOR LIVING	49.1m2
TOTAL AREA	197.0m2

AREA SCHEDULE. FLOOR SPACE RATIO.

MEASURED TO THE INSIDE FACE OF THE EXTERNAL WALLS. NOT INCLUDING CARPARKING REQUIREMENTS, AREA FOR VERTICAL CIRCULATION. (STAIRS). TERRACES & BALCONIES WITH OUTER WALLS LESS THAN 1.4 METRES HIGH.	
GROUND FLOOR LIVING	84.8m2
FIRST FLOOR LIVING	42.2m2
TOTAL AREA	127.0m2

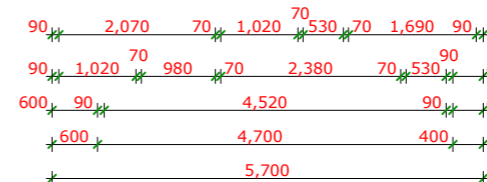
DWELLING 18 FLOOR PLANS

SCALE 1 : 100



FIRST FLOOR PLAN.
SCALE 1 : 100

NOTE:
ALL FIRST FLOOR WINDOWS TO BE IN ACCORDANCE WITH
BCA, VOLUME 2, CLAUSE 3.9.2.5. PROTECTION OF OPENABLE WINDOWS.
LOUVRE AND AWNING WINDOWS OPENABLE PORTION TO BE PROTECTED WITH.
(A). A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENING.
(B). A SCREEN WITH SECURE FITTINGS.



DWELLING BASIX REQUIREMENTS.

REFER BASIX CERTIFICATE. NUMBER 1197070M FOR WATER,
THERMAL COMFORT & ENERGY REQUIREMENTS.
HOT WATER SYSTEM TO BE A SOLAR (ELECTRIC BOOSTED) SYSTEM.
PERFORMANCE OF 31 TO 35 STC'S OR BETTER.
THAT IS ELIGIBLE TO CREATE RENEWABLE ENERGY CERTIFICATES
UNDER RENEWABLE ENERGY REGULATIONS 2001.
(AMENDMENT REGULATIONS 2005 No 2).

ROOF INSULATION
PROVIDE 60MM REFLECTIVE FOIL BLANKET.
TO UNDERSIDE OF ROOF SHEETING THROUGHOUT.
MIN. R3.5 INSULATION TO CEILINGS
MIN. R2.0 INSULATION BETWEEN GARAGE & FLOOR ABOVE
MIN. R2.5 INSULATION OVER RAKING CEILINGS

EXTERNAL WALL INSULATION.
MIN R2.5 90MM BULK INSULATION TO ALL TIMBER FRAME EXTERNAL WALLS.
INTERNAL WALL INSULATION.
MIN R2.0 90MM BULK INSULATION BETWEEN GARAGE & LIVING AREAS.
ALL SHOWERHEADS TO HAVE A MINIMUM 3 STAR RATING.
(>7.5 but <=9 L/Min)
ALL TOILETS TO HAVE A MINIMUM 3 STAR RATING.
AND BE DUAL FLUSH.
SINK AND BASIN TAPS TO HAVE A MINIMUM 3 STAR RATING.
EXTERNAL COLOUR SCHEME
ROOF SHEETING. COLORBOND. MEDIUM COLOUR.
CEILING FANS TO A MINIMUM OF 1 LIVING AREA AND 1 BEDROOM
WINDOWS, DOORS TO BE IN ACCORDANCE WITH
THERMAL COMFORT COMMITMENTS. BASIX CERTIFICATE NUMBER 1197070M.

UPDATED DRAWING SUBMITTED 8/9/21

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

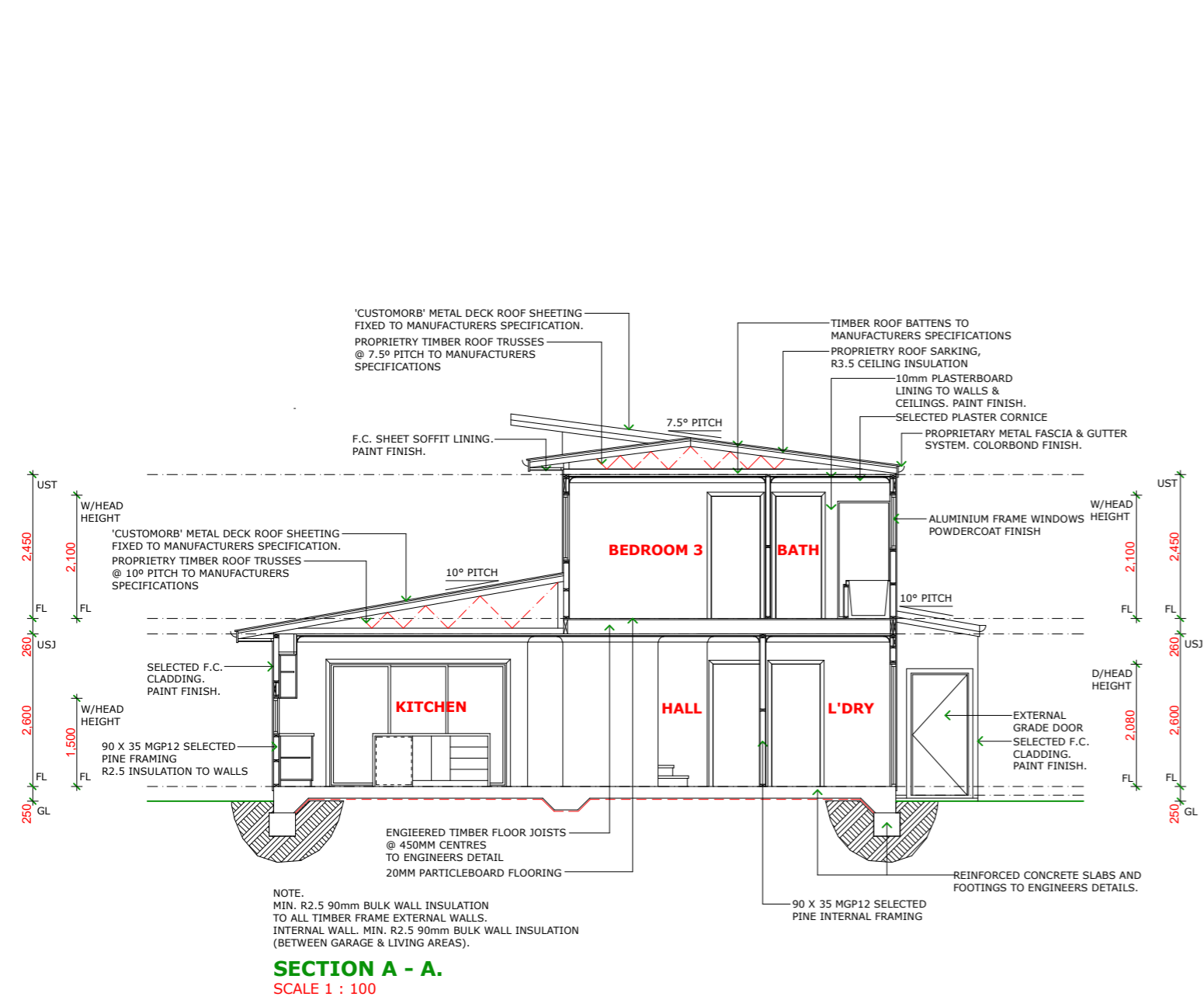
Design & Documentation by Douglas Cope. QBSA Licence No. 1037753 ABN. 86 86 11 73 484	
All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.	
DATE. APR, 21	DRAWING TITLE. FLOOR PLANS.
DRAWN. D.C.	PROJECT NO. B1161 DWG No. D18/1
SCALE. 1 : 100	

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc

Mob. 0401 000126
Email doug@ppdc.com.au

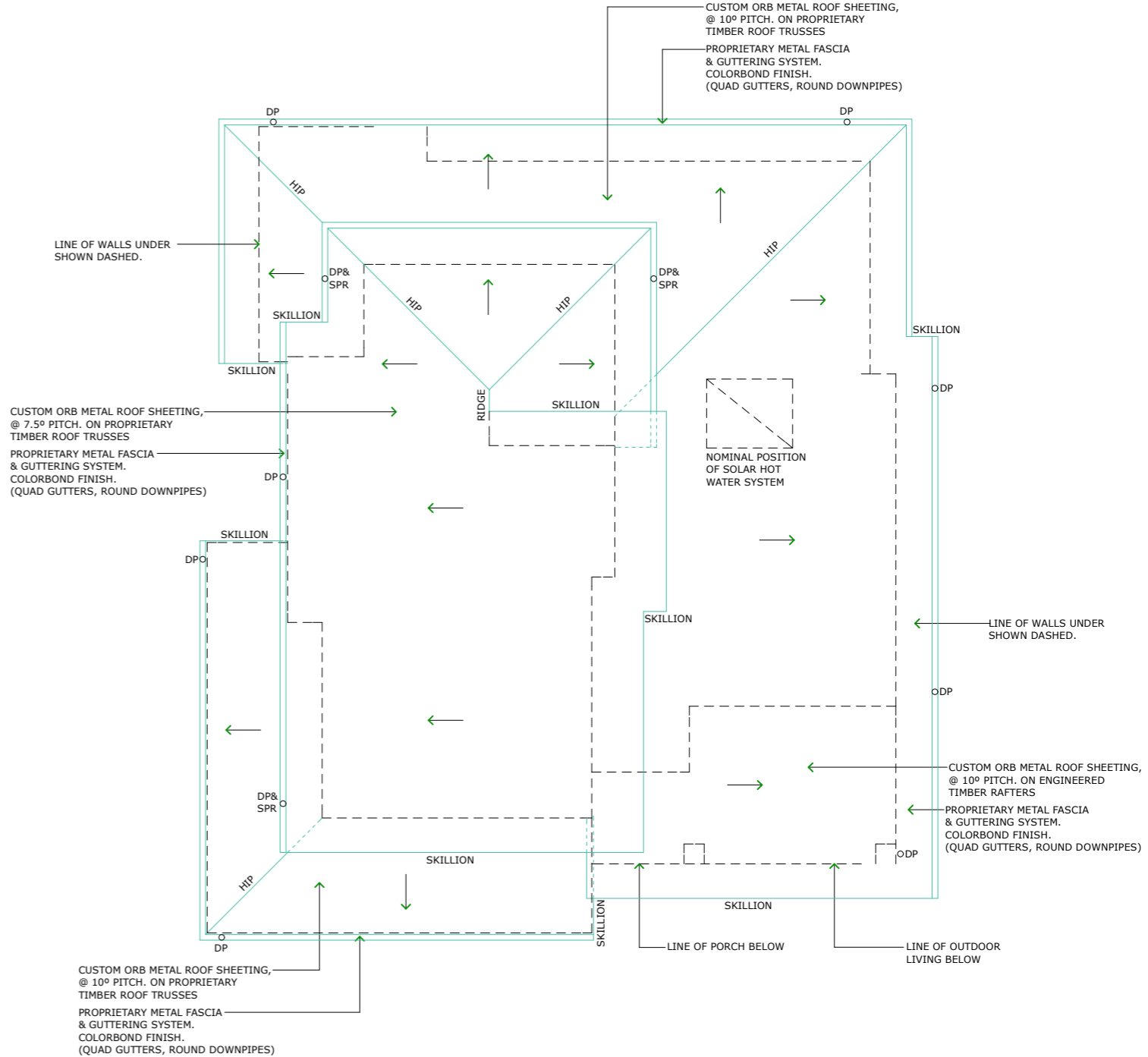
prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.



NOTE.
ALL DOWNPIPES TO BE CONNECTED TO
ON-SITE STORMWATER DRAINAGE SYSTEM.
REFER TO ENGINEERS DETAILS FOR NOMINAL LOCATIONS.

DWELLING 18 CONSTRUCTION SECTION, ROOF PLAN

SCALE 1 : 100



ROOF PLAN.
SCALE 1 : 100
TOTAL ROOF AREA. 187m2

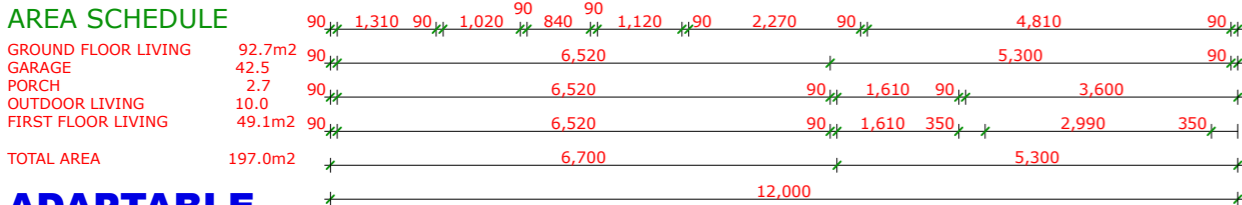
AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

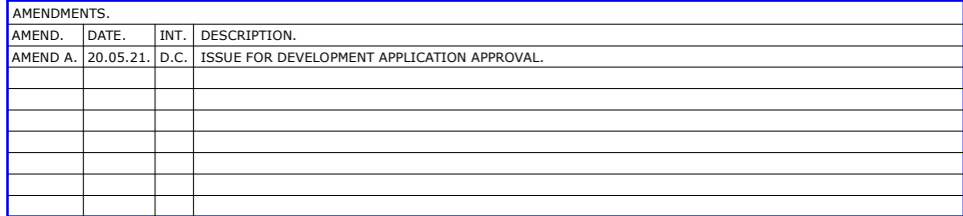
AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

Design & Documentation by Douglas Cope. QBSA Licence No. 1037753 ABN. 86 86 11 73 484			
All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.			
DATE. APR, 21	DRAWING TITLE. CONST. SECTION, ROOF PLAN.	PROJECT No. B1161 DWG No. D18/3A	
DRAWN. D.C.	SCALE. 1 : 100	49 Kingsley Lane Byron Bay NSW 2481 Ppdc Mob. 0401 000126 Email doug@ppdc.com.au prestige properties design & construction Development Consultants/Architectural Designers RAIA 25222, QBSA Licence No. 1037753.	



SCALE 1 : 100



DWELLING BASIX REQUIREMENTS.

REFER BASIX CERTIFICATE. NUMBER 1197070M FOR WATER, THERMAL COMFORT & ENERGY REQUIREMENTS.

HOT WATER SYSTEM TO BE A SOLAR (ELECTRIC BOOSTED) SYSTEM. PERFORMANCE OF 31 TO 35 STC'S OR BETTER.

THAT IS ELIGIBLE TO CREATE RENEWABLE ENERGY CERTIFICATES UNDER RENEWABLE ENERGY REGULATIONS 2001. (AMENDMENT REGULATIONS 2005 NO 2).

ROOF INSULATION

PROVIDE 60MM REFLECTIVE FOIL BLANKET.

TO UNDERSIDE OF ROOF SHEETING THROUGHOUT.

MIN. R3.5 INSULATION TO CEILINGS

MIN. R2.0 INSULATION BETWEEN GARAGE & FLOOR ABOVE

MIN. R2.5 INSULATION OVER RAKING CEILINGS

EXTERNAL WALL INSULATION.

MIN R2.5 90MM BULK INSULATION TO ALL TIMBER FRAME EXTERNAL WALLS.

INTERNAL WALL INSULATION.

MIN R2.0 90MM BULK INSULATION BETWEEN GARAGE & LIVING AREAS.

ALL SHOWERHEADS TO HAVE A MINIMUM 3 STAR RATING.

(>7.5 but <=9 L/min)

ALL TOILETS TO HAVE A MINIMUM 3 STAR RATING.

AND BE DUAL FLUSH.

SINK AND BASIN TAPS TO HAVE A MINIMUM 3 STAR RATING.

EXTERNAL COLOUR SCHEME

ROOF SHEETING. COLORBOND. MEDIUM COLOUR.

CEILING FANS TO A MINIMUM OF 1 LIVING AREA AND 1 BEDROOM

WINDOWS, DOORS TO BE IN ACCORDANCE WITH THERMAL COMFORT COMMITMENTS. BASIX CERTIFICATE NUMBER 1197070M.



Diagram illustrating the calculation of 90×70 using a number line:

- Start at 0, add 90 to get 90.
- From 90, add 1,020 to get 980.
- From 980, add 980 to get 1,960.
- From 1,960, add 2,380 to get 4,340.
- From 4,340, add 4,520 to get 8,860.
- From 8,860, add 4,700 to get 13,560.
- From 13,560, add 5,700 to get 19,260.

The final result is 19,260.

UPDATED DRAWING SUBMITTED 8/9/21

[illegible]

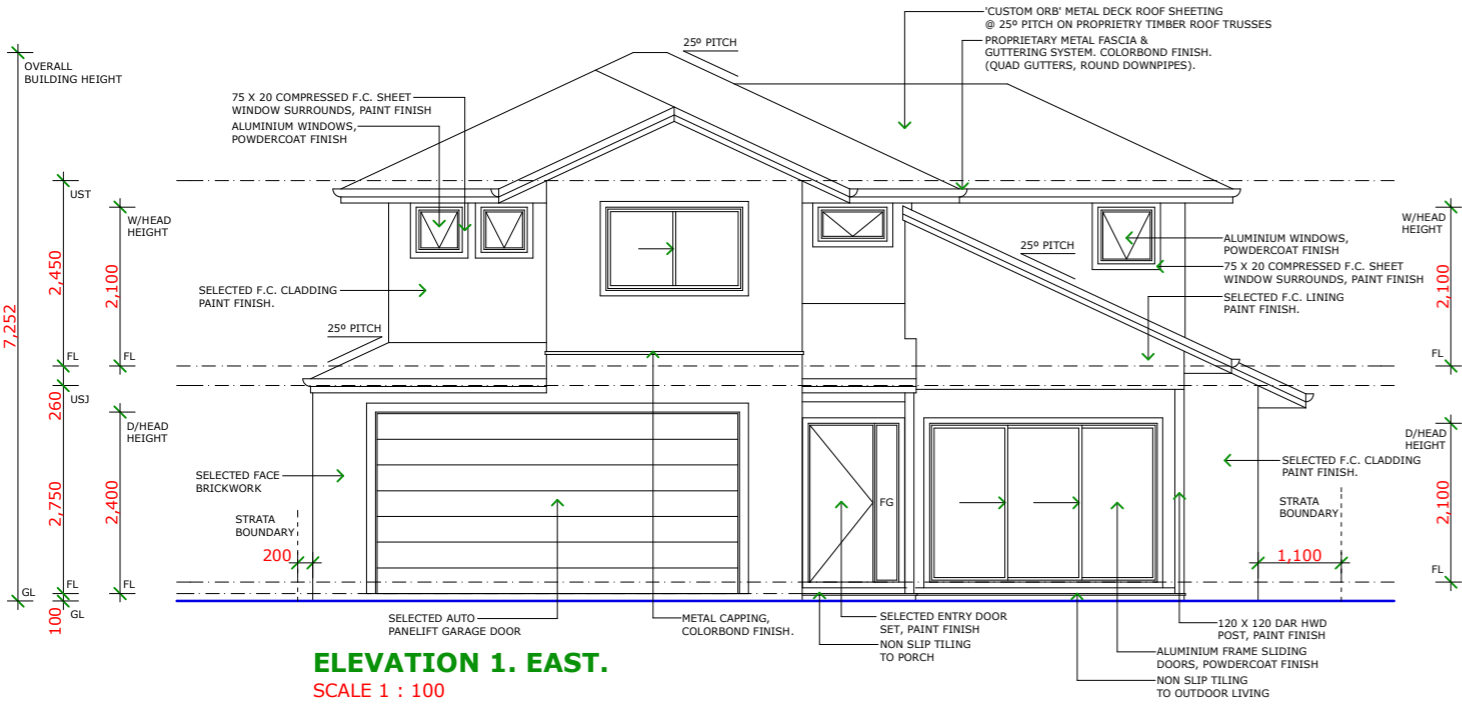
PROJECT.

Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.
FOR. Mr J. & Mrs G. Mills.

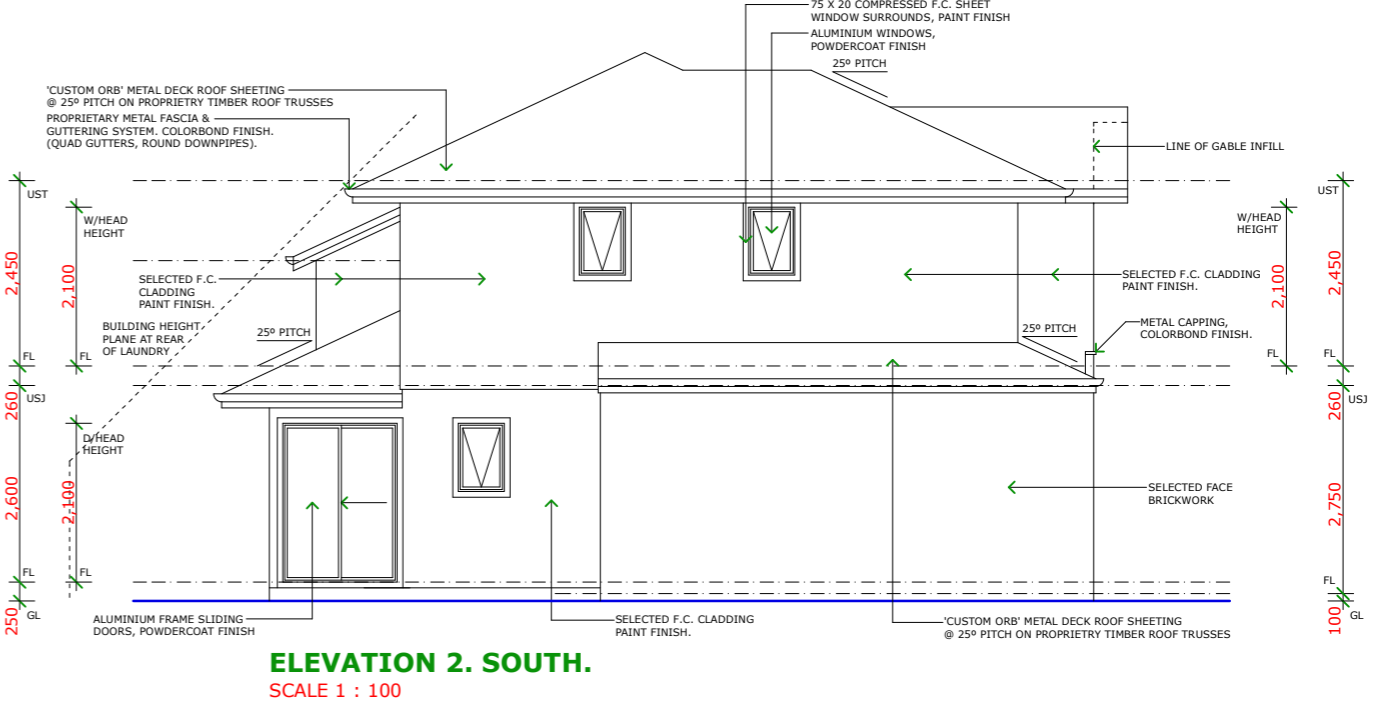
FOR

Design & Documentation by Douglas Cope.		QBSA Licence No. 1037753 ABN: 86 86 11 73 484	
<p>All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.</p>			
DATE. APR, 21	DRAWING TITLE. FLOOR PLANS.		
DRAWN. D.C.	PROJECT No.	DWG No.	
SCALE. 1 : 100	B1161	D18/1A	

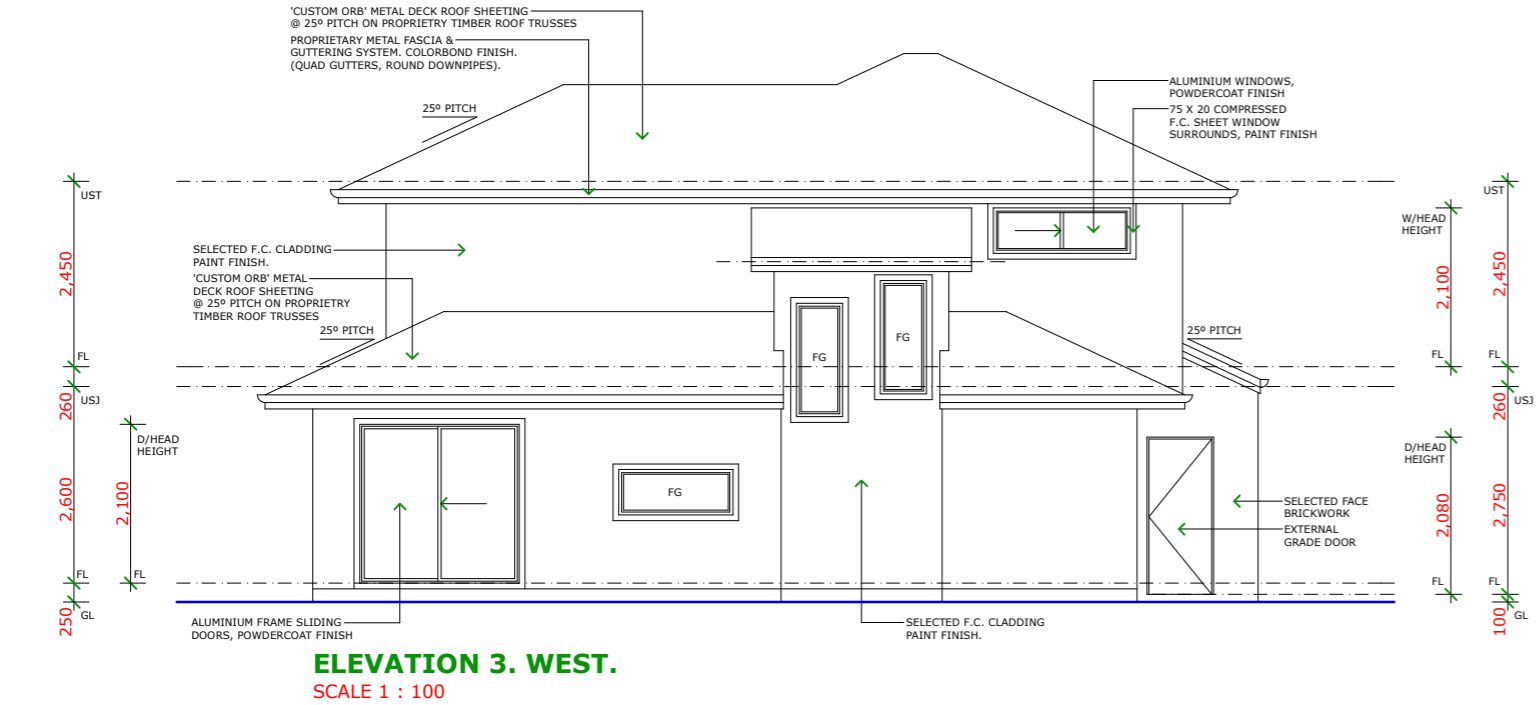
Ppdc 49 Kingsley Lane
Byron Bay NSW 2481
Mob. 0401 000126
Email doug@ppdc.com.au
prestige properties design & construction
Development Consultants|Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.



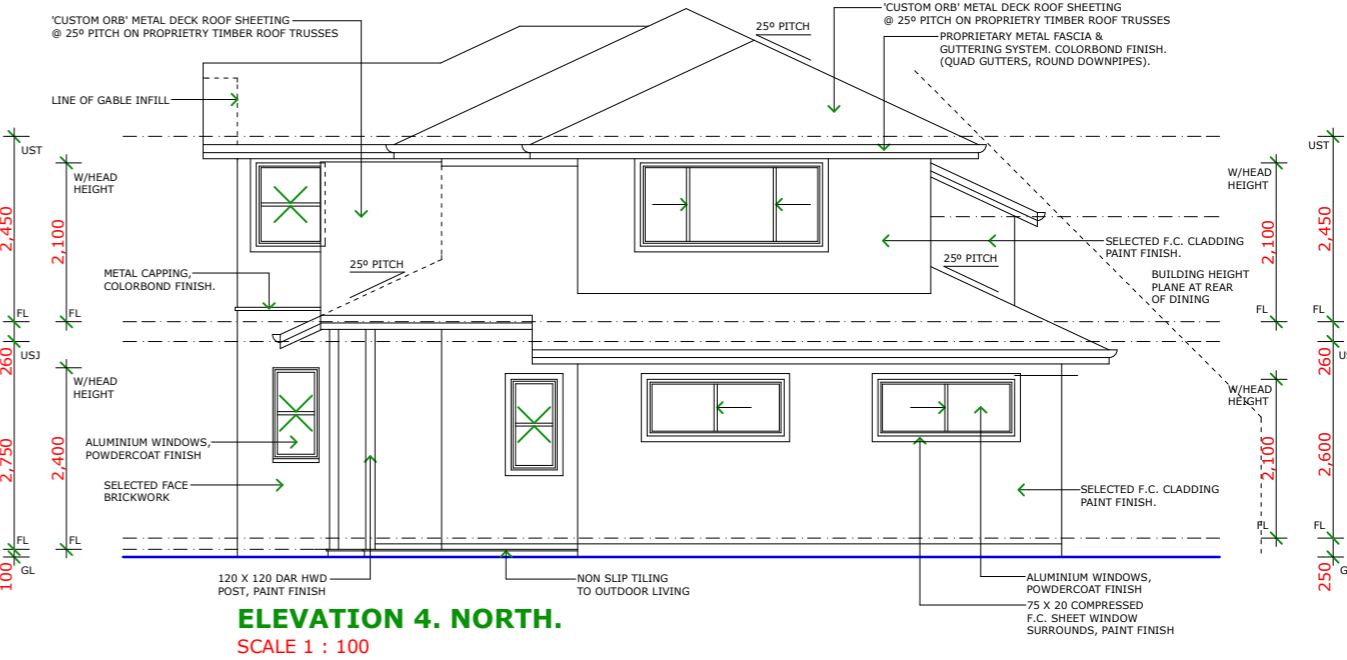
ELEVATION 1. EAST.
SCALE 1 : 100



ELEVATION 2. SOUTH.
SCALE 1 : 100



ELEVATION 3. WEST.
SCALE 1 : 100



ELEVATION 4. NORTH.
SCALE 1 : 100

DWELLING 19
ELEVATIONS
SCALE 1 : 100

UPDATED DRAWING SUBMITTED 8/9/21

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

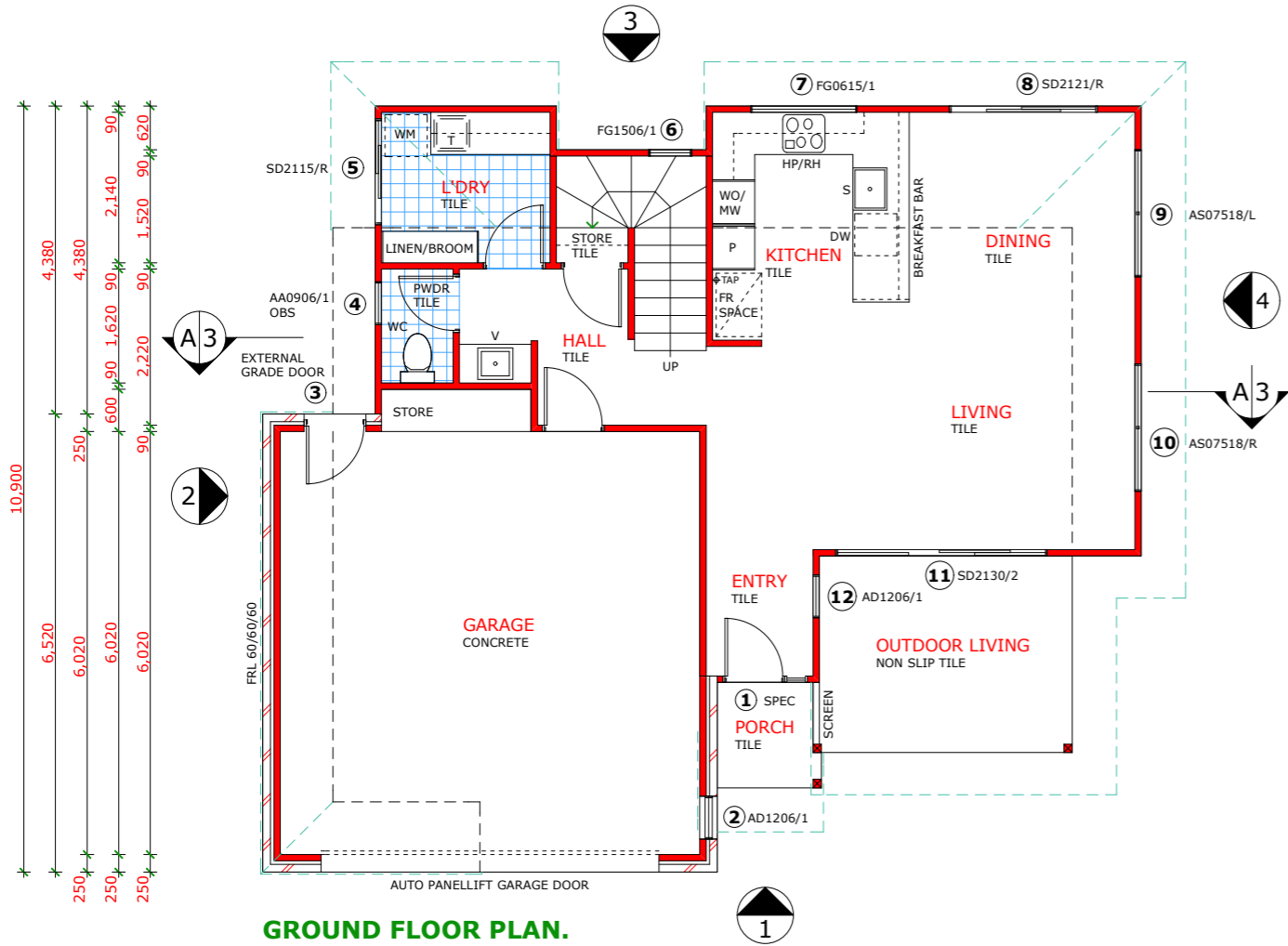
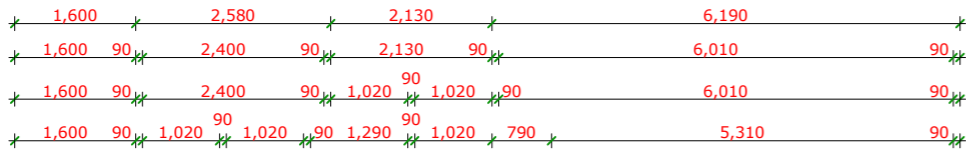
Design & Documentation by Douglas Cope. QBSA Licence No. 1037753 ABN. 86 86 11 73 484			
All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.			
DATE. APR, 21	DRAWING TITLE. ELEVATIONS.	PROJECT No. B1161 DWG No. D19/2	
DRAWN. D.C.	SCALE. 1 : 100		

49 Kingsley Lane
Byron Bay NSW 2481

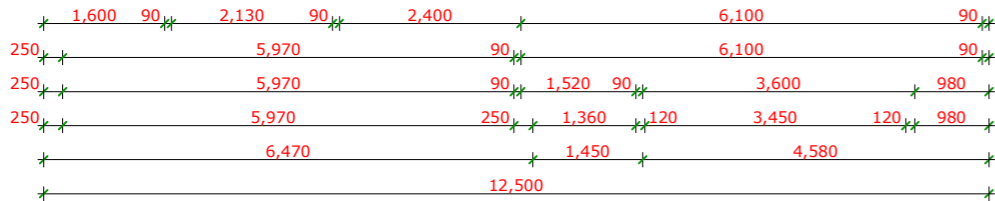
Ppdc

Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.



GROUND FLOOR PLAN.
SCALE 1 : 100



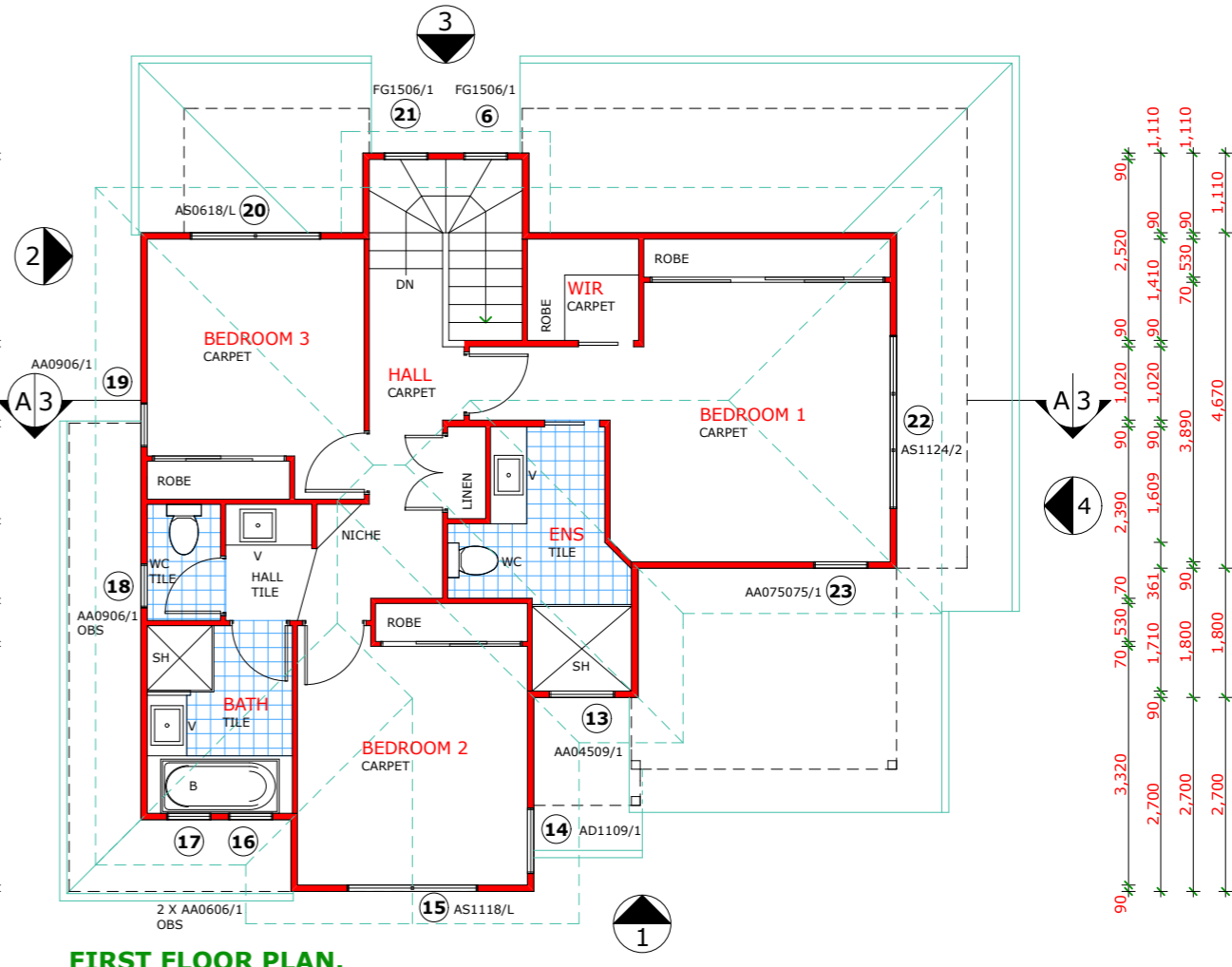
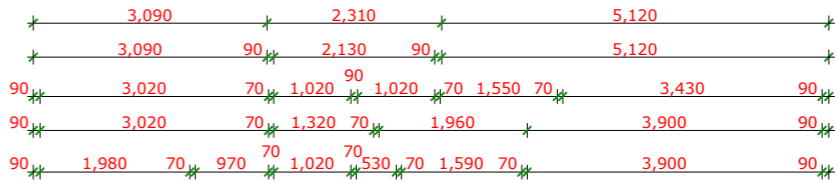
AREA SCHEDULE

GROUND FLOOR LIVING	62.0m2
GARAGE	41.4
PORCH	2.1
OUTDOOR LIVING	10.2
FIRST FLOOR LIVING	76.8m2
TOTAL AREA	192.5m2

AREA SCHEDULE.
FLOOR SPACE RATIO.

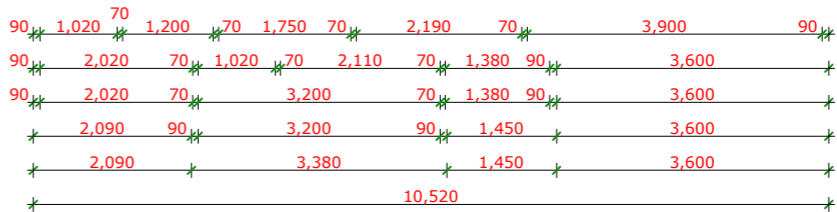
MEASURED TO THE INSIDE
FACE OF THE EXTERNAL WALLS.
NOT INCLUDING CARPARKING REQUIREMENTS,
AREA FOR VERTICAL CIRCULATION. (STAIRS).
TERRACES & BALCONIES WITH OUTER
WALLS LESS THAN 1.4 METRES HIGH.
GROUND FLOOR LIVING 59.3m2
FIRST FLOOR LIVING 68.9m2
TOTAL AREA 128.2m2

DWELLING BASIX REQUIREMENTS.
REFER BASIX CERTIFICATE. NUMBER 1197070M FOR WATER,
THERMAL COMFORT & ENERGY REQUIREMENTS.
HOT WATER SYSTEM TO BE A SOLAR (ELECTRIC BOOSTED) SYSTEM.
PERFORMANCE OF 31 TO 35 STC'S OR BETTER.
THAT IS ELIGIBLE TO CREATE RENEWABLE ENERGY CERTIFICATES
UNDER RENEWABLE ENERGY REGULATIONS 2001.
(AMENDMENT REGULATIONS 2005 No 2).
ROOF INSULATION
PROVIDE 60MM REFLECTIVE FOIL BLANKET.
TO UNDERSIDE OF ROOF SHEETING THROUGHOUT.
MIN. R3.5 INSULATION TO CEILINGS
MIN. R2.0 INSULATION BETWEEN GARAGE & FLOOR ABOVE
EXTERNAL WALL INSULATION.
MIN R2.7 90MM BULK INSULATION TO ALL TIMBER FRAME EXTERNAL WALLS.
INTERNAL WALL INSULATION.
MIN R2.0 90MM BULK INSULATION BETWEEN GARAGE & LIVING AREAS.
ALL SHOWERHEADS TO HAVE A MINIMUM 3 STAR RATING.
(>7.5 but <=9 L/Min)
ALL TOILETS TO HAVE A MINIMUM 3 STAR RATING.
SINK AND BASIN TAPS TO HAVE A MINIMUM 3 STAR RATING.
EXTERNAL COLOUR SCHEME
ROOF SHEETING. COLORBOND. DARK COLOUR.
CEILING FANS TO A MINIMUM OF 1 LIVING AREA AND 1 BEDROOM
WINDOWS, DOORS TO BE IN ACCORDANCE WITH
THERMAL COMFORT COMMITMENTS. BASIX CERTIFICATE NUMBER 1197070M.



FIRST FLOOR PLAN.
SCALE 1 : 100

NOTE:
ALL FIRST FLOOR WINDOWS TO BE IN ACCORDANCE WITH
BCA. VOLUME 2. CLAUSE 3.9.2.5. PROTECTION OF OPENABLE WINDOWS.
LOUVRE AND AWNING WINDOWS OPENABLE PORTION TO BE PROTECTED WITH.
(A). A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENING.
(B). A SCREEN WITH SECURE FITTINGS.



UPDATED DRAWING SUBMITTED 8/9/21

DWELLING 19
FLOOR PLANS

SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT.

PROPOSED NEW UNIT DEVELOPMENT.

FOR. Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.

FOR.

Mr J. & Mrs G. Mills.

Design & Documentation by Douglas Cope. QBSA Licence No. 1037753 ABN. 86 86 11 73 484	
All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.	
DATE. APR, 21	DRAWING TITLE. FLOOR PLANS.
DRAWN. D.C.	PROJECT NO. B1161 DWG No. D19/1
SCALE. 1 : 100	

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc

Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.

NOTE.
ALL DOWNPIPES TO BE CONNECTED TO
ON-SITE STORMWATER DRAINAGE SYSTEM.
REFER TO ENGINEERS DETAILS FOR NOMINAL LOCATIONS.

DWELLING 19
CONSTRUCTION SECTION, ROOF PLAN

SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT.
PROPOSED NEW UNIT DEVELOPMENT.

AT.
Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.

FOR.
Mr J. & Mrs G. Mills.

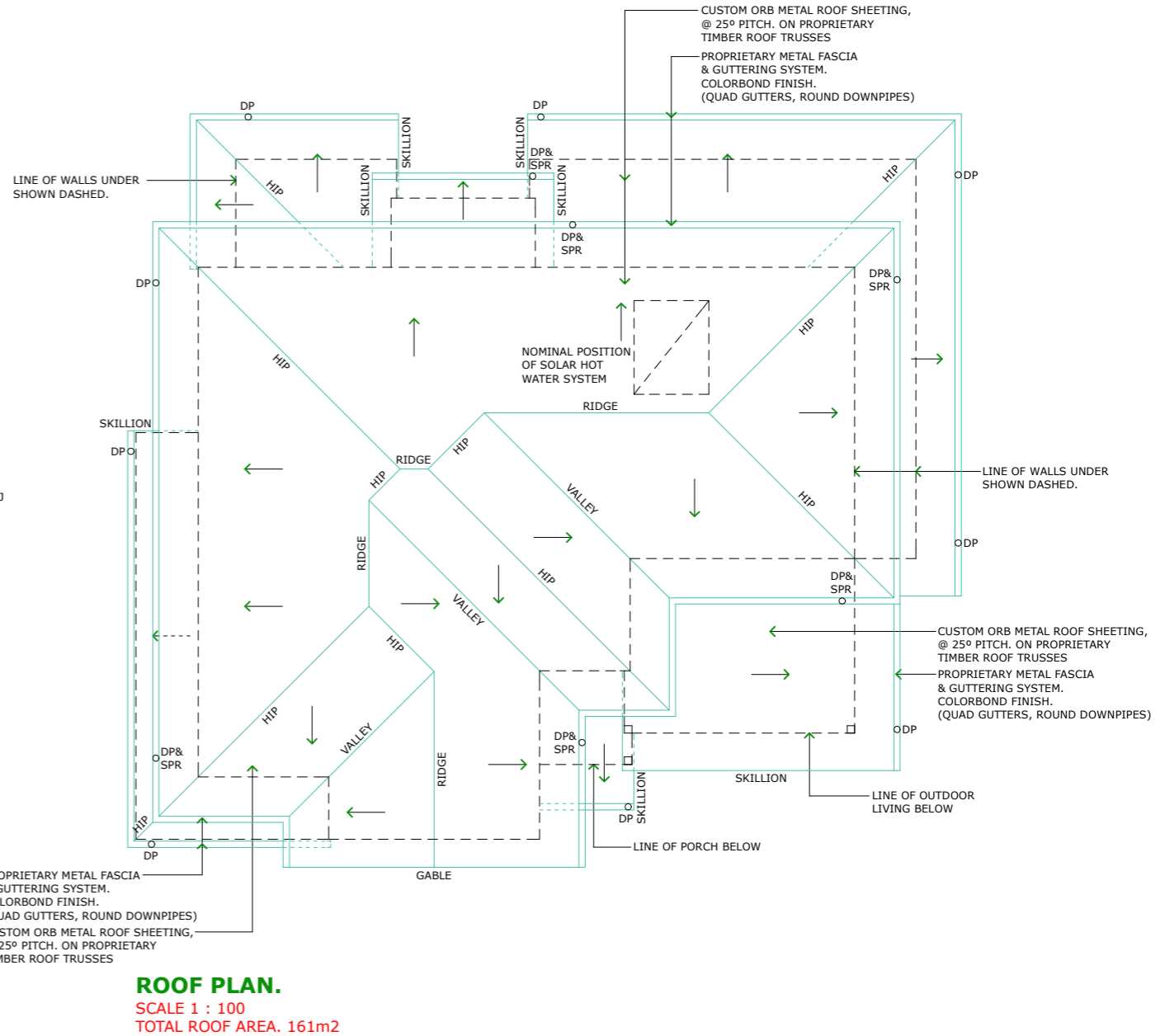
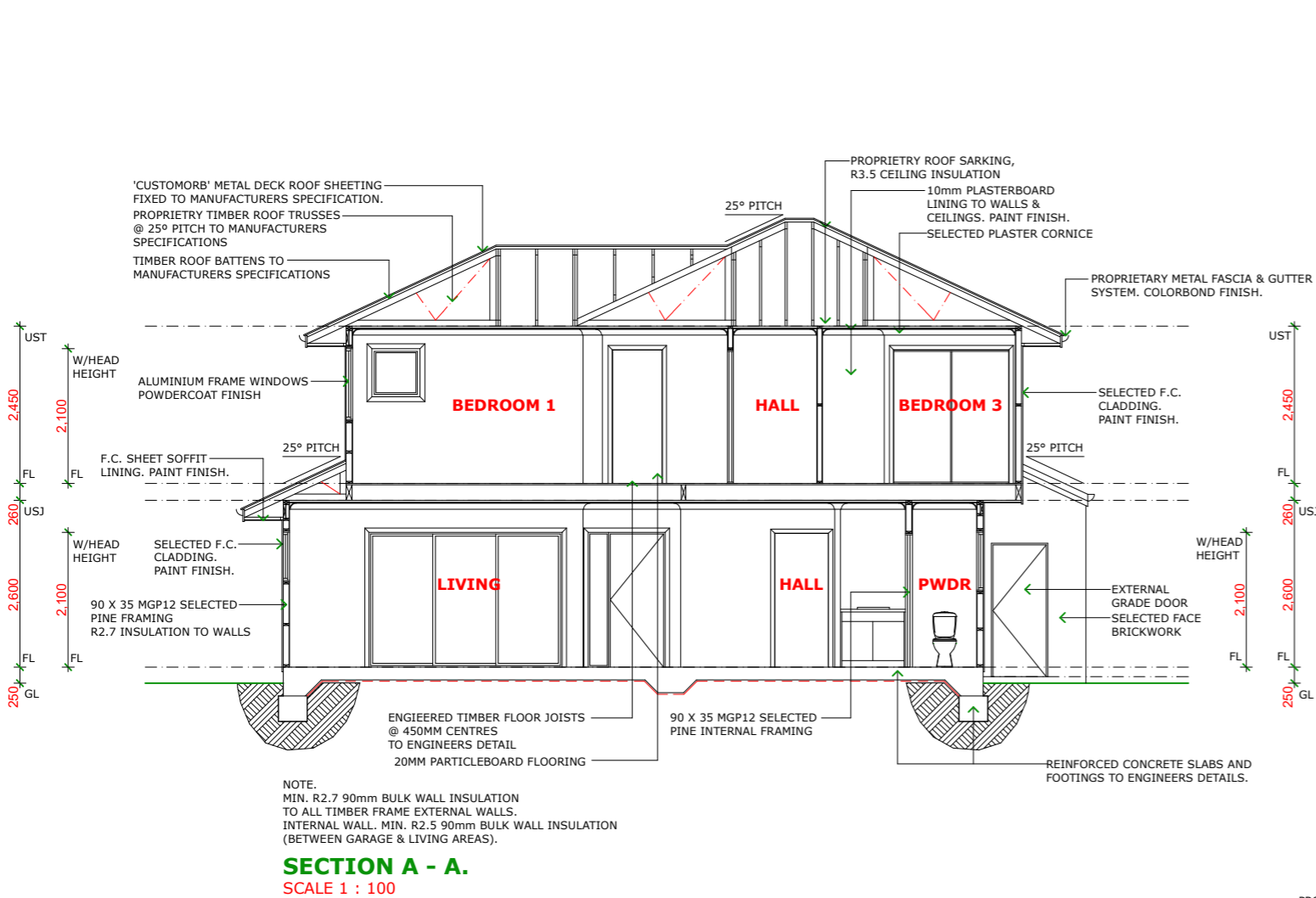
Design & Documentation by Douglas Cope.
QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

DATE.	APR, 21	DRAWING TITLE.	CONST. SECTION, ROOF PLAN.
DRAWN.	D.C.	PROJECT No.	B1161
SCALE.	1 : 100	DWG No.	D19/3A

ppdc
49 Kingsley Lane
Byron Bay NSW 2481
Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222, QBSA Licence No. 1037753.



DWELLING 20
FIRST FLOOR PLAN

SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. Lot 1. No. 35. Bayside Way. Brunswick Heads. NSW.

FOR. Mr J. & Mrs G. Mills.

UPDATED DRAWING SUBMITTED 8/9/21

Design & Documentation by Douglas Cope. QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

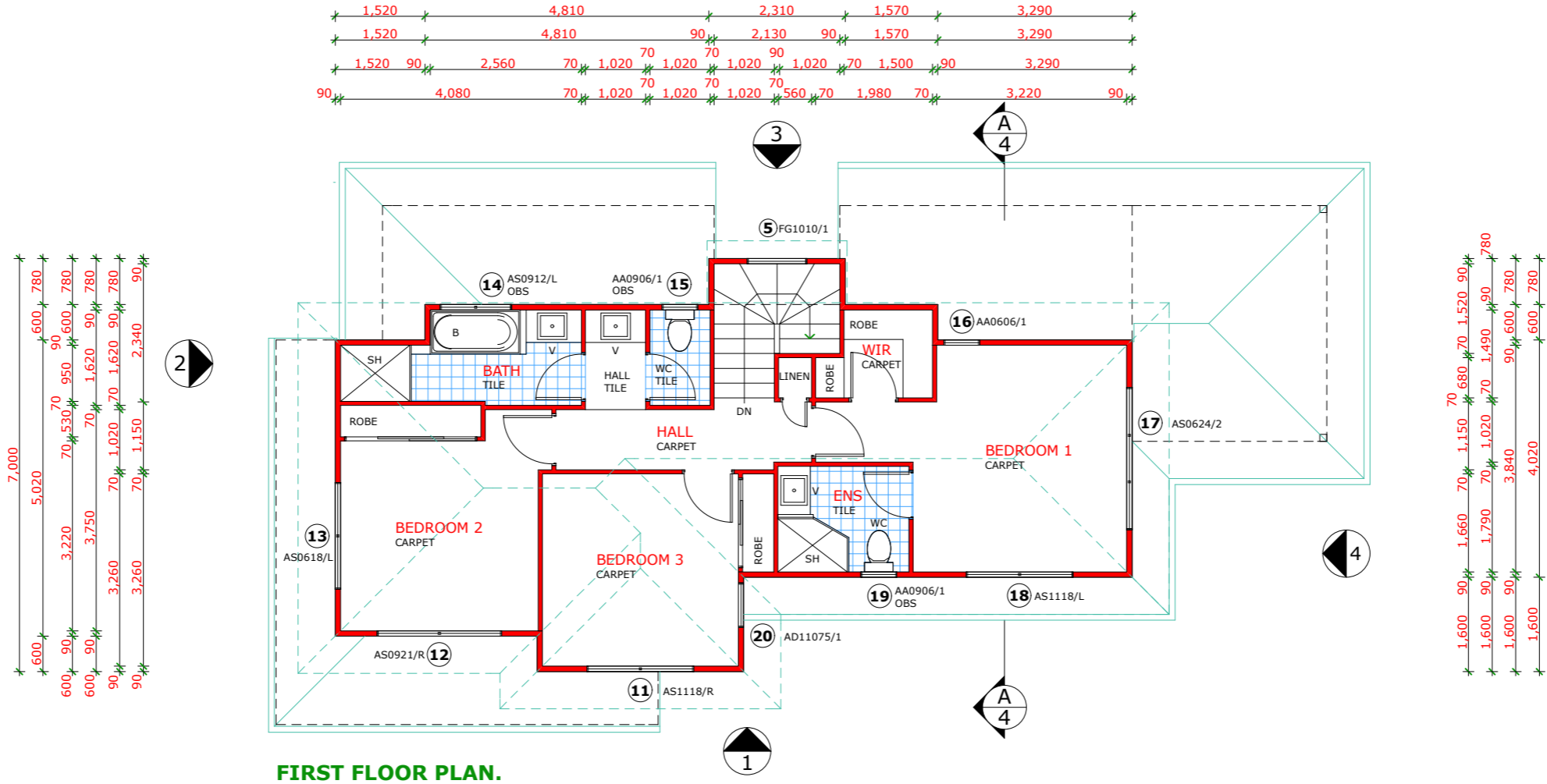
DATE. MAR, 21
DRAWN. D.C.
SCALE. 1 : 100

DRAWING TITLE. **FIRST FLOOR PLAN.**
PROJECT No. **B1161** DWG No. **D20/2**

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc
Mob. 0401 000126
Email doug@ppdc.com.au

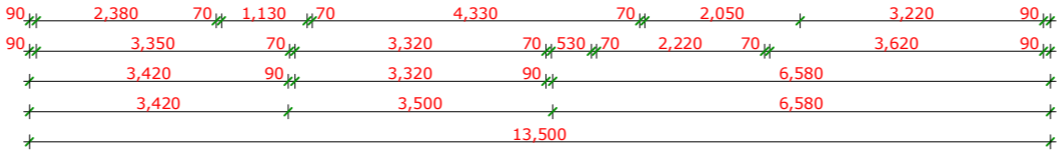
prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222, QBSA Licence No. 1037753.

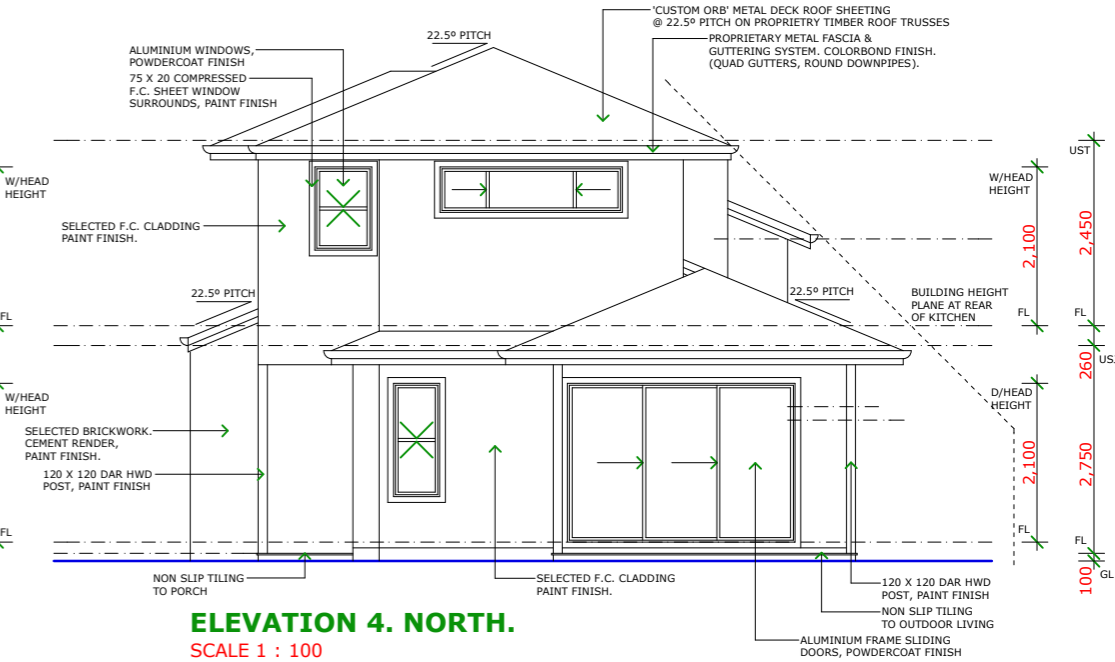
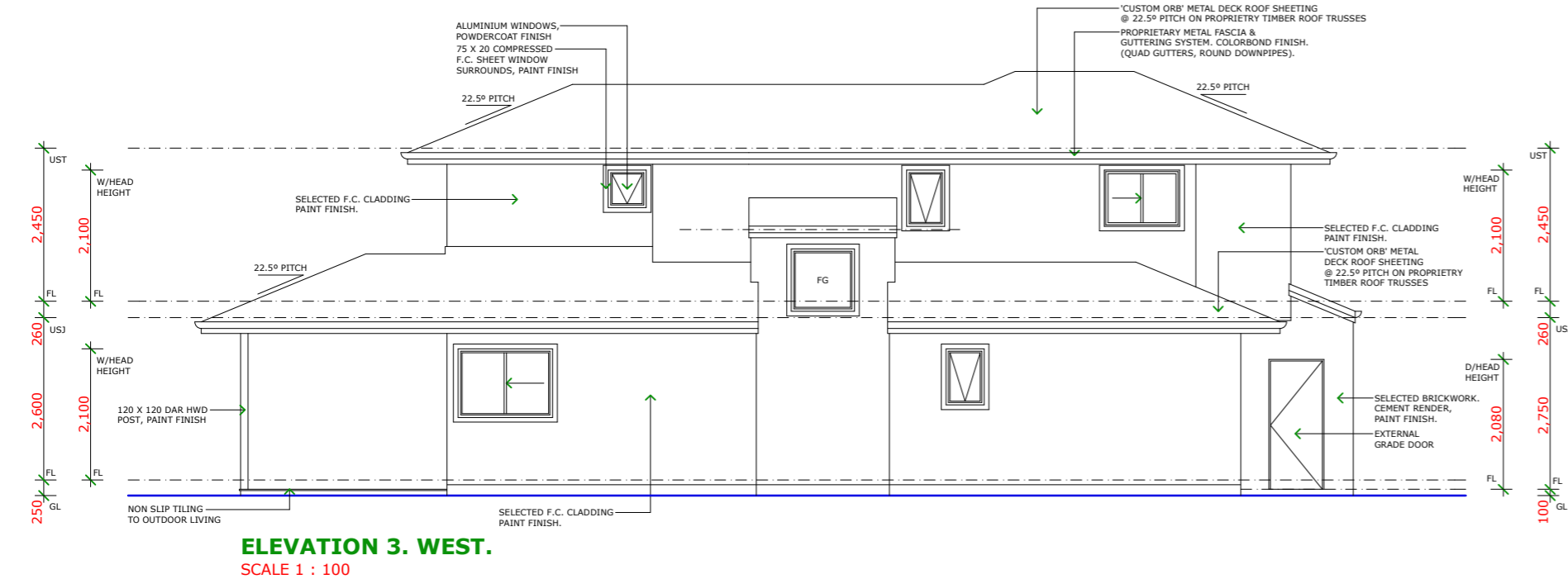
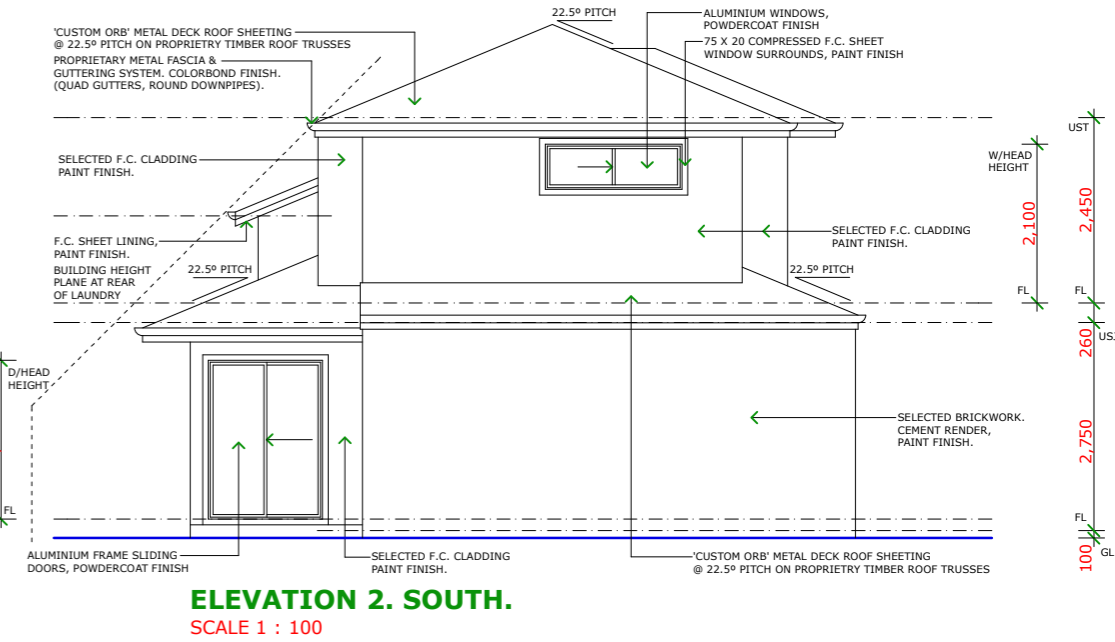
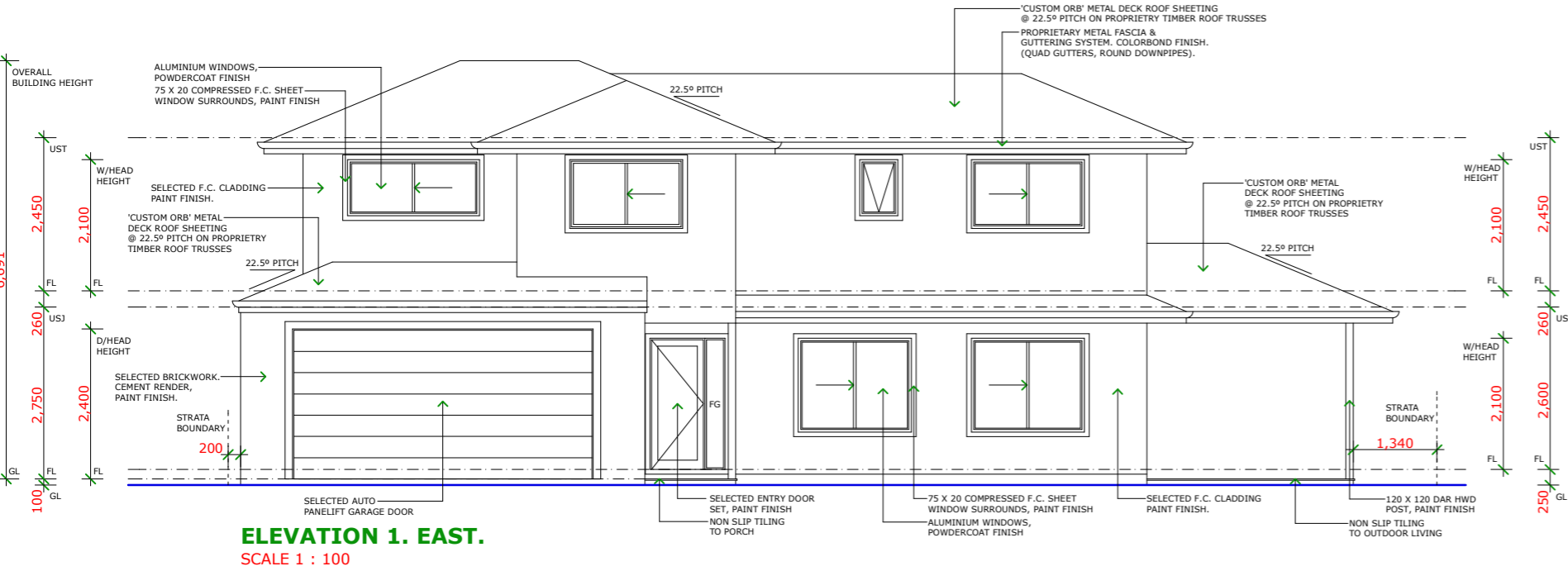


FIRST FLOOR PLAN.

SCALE 1 : 100

NOTE.
ALL FIRST FLOOR WINDOWS TO BE IN ACCORDANCE WITH
BCA. VOLUME 2. CLAUSE 3.9.2.5. PROTECTION OF OPENABLE WINDOWS.
LOUVRE AND AWNING WINDOWS OPENABLE PORTION TO BE PROTECTED WITH.
(A). A DEVICE CAPABLE OF RESTRICTING THE WINDOW OPENING.
(B). A SCREEN WITH SECURE FITTINGS.





DWELLING 20 ELEVATIONS

SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

UPDATED DRAWING SUBMITTED 8/9/21

Design & Documentation by Douglas Cope. QBSA Licence No. 1037753 ABN. 86 86 11 73 484			
All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.			
DATE. APR, 21	DRAWING TITLE. ELEVATIONS.	PROJECT No. B1161	DWG No. D20/3A
DRAWN. D.C.	SCALE. 1 : 100		

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc

Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction

Development Consultants/Architectural Designers
RAIA 25222. QBSA Licence No. 1037753.

AREA SCHEDULE.
FLOOR SPACE RATIO.

MEASURED TO THE INSIDE
FACE OF THE EXTERNAL WALLS.
NOT INCLUDING CARPARKING REQUIREMENTS,
AREA FOR VERTICAL CIRCULATION. (STAIRS).
TERRACES & BALCONIES WITH OUTER
WALLS LESS THAN 1.4 METRES HIGH.
GROUND FLOOR LIVING 57.6m2
FIRST FLOOR LIVING 62.7m2

TOTAL AREA 120.3m2

AREA SCHEDULE

GROUND FLOOR LIVING 60.4m2
GARAGE 41.6
PORCH 1.8
OUTDOOR LIVING 13.2
FIRST FLOOR LIVING 70.3m2

TOTAL AREA 187.3m2

DWELLING 20

GROUND FLOOR PLAN

SCALE 1 : 100

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

Design & Documentation by Douglas Cope. QBSA Licence No. 1037753
ABN. 86 86 11 73 484

All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.

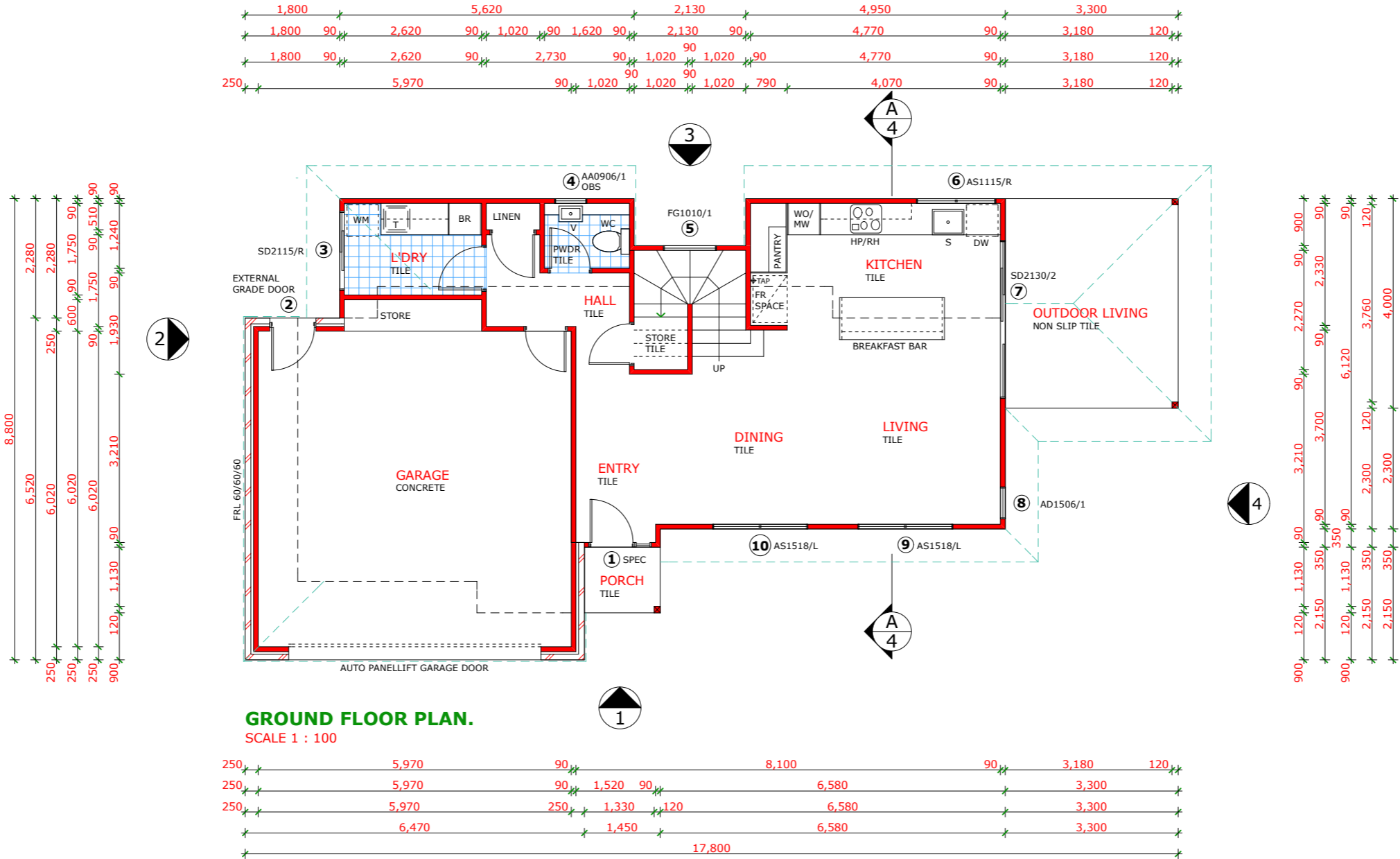
DATE. APR, 21
DRAWN. D.C.
SCALE. 1 : 100

DRAWING TITLE. **GROUND FLOOR PLAN.**
PROJECT No. **B1161** DWG No. **D20/1**

49 Kingsley Lane
Byron Bay NSW 2481

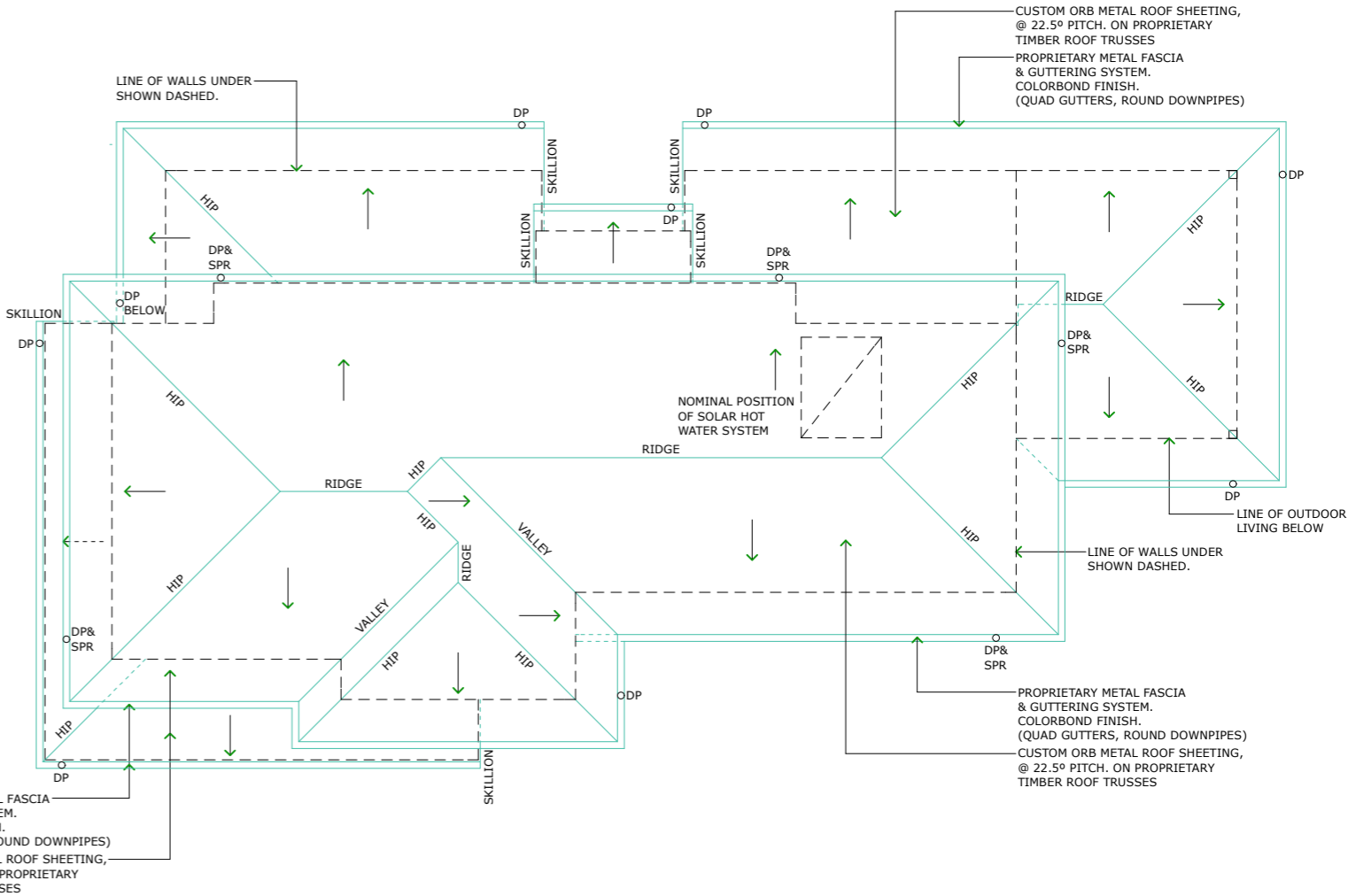
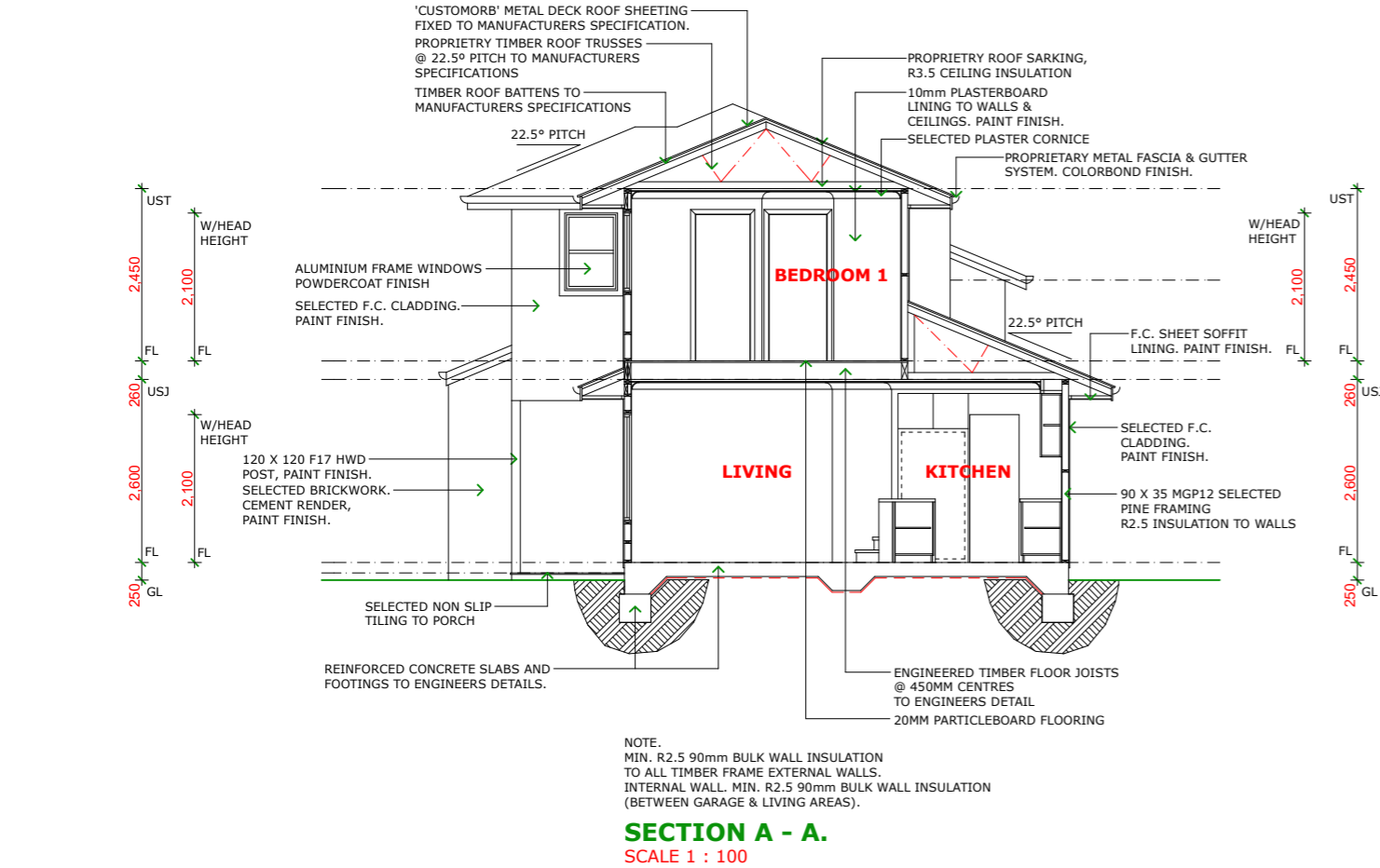
Ppdc
Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222, QBSA Licence No. 1037753.



DWELLING BASIX REQUIREMENTS.
REFER BASIX CERTIFICATE. NUMBER 1197070M FOR WATER, THERMAL COMFORT & ENERGY REQUIREMENTS.
HOT WATER SYSTEM TO BE A SOLAR (ELECTRIC BOOSTED) SYSTEM. PERFORMANCE OF 31 TO 35 STC'S OR BETTER.
THAT IS ELIGIBLE TO CREATE RENEWABLE ENERGY CERTIFICATES UNDER RENEWABLE ENERGY REGULATIONS 2001. (AMENDMENT REGULATIONS 2005 No 2).
ROOF INSULATION
PROVIDE 60MM REFLECTIVE FOIL BLANKET.
TO UNDERSIDE OF ROOF SHEETING THROUGHOUT.
MIN. R3.5 INSULATION TO CEILINGS
MIN. R2.0 INSULATION BETWEEN GARAGE & FLOOR ABOVE
EXTERNAL WALL INSULATION.
MIN R2.5 90MM BULK INSULATION TO ALL TIMBER FRAME EXTERNAL WALLS.
INTERNAL WALL INSULATION.
MIN R2.0 90MM BULK INSULATION BETWEEN GARAGE & LIVING AREAS.
ALL SHOWERHEADS TO HAVE A MINIMUM 3 STAR RATING.
(>7.5 but <=9 L/Min)
ALL TOILETS TO HAVE A MINIMUM 3 STAR RATING.
AND BE DUAL FLUSH.
SINK AND BASIN TAPS TO HAVE A MINIMUM 3 STAR RATING.
EXTERNAL COLOUR SCHEME
ROOF SHEETING. COLORBOND. MEDIUM COLOUR.
CEILING FANS TO A MINIMUM OF 1 LIVING AREA AND 1 BEDROOM
WINDOWS, DOORS TO BE IN ACCORDANCE WITH THERMAL COMFORT COMMITMENTS. BASIX CERTIFICATE NUMBER 1197070M.

UPDATED DRAWING SUBMITTED 8/9/21



NOTE.
ALL DOWNPIPES TO BE CONNECTED TO
ON-SITE STORMWATER DRAINAGE SYSTEM.
REFER TO ENGINEERS DETAILS FOR NOMINAL LOCATIONS.

DWELLING 20

CONSTRUCTION SECTION, ROOF PLAN

SCALE 1 : 100

UPDATED DRAWING SUBMITTED 8/9/21

AMENDMENTS.			
AMEND.	DATE.	INT.	DESCRIPTION.
AMEND A.	20.05.21.	D.C.	ISSUE FOR DEVELOPMENT APPLICATION APPROVAL.

PROJECT. **PROPOSED NEW UNIT DEVELOPMENT.**

AT. **Lots 1-6. No. 35. Bayside Way. Brunswick Heads. NSW.**

FOR. **Mr J. & Mrs G. Mills.**

Design & Documentation by Douglas Cope. QBSA Licence No. 1037753 ABN. 86 86 11 73 484			
All building construction to comply with Local Authority By-Laws and the Building Code of Australia. Do Not Scale this Drawing, use given dimensions in preference. All dimensions and levels are to be confirmed Onsite. These drawings and the COPYRIGHT thereof are the property of Douglas Cope and must not be used or reproduced without the written permission of Douglas Cope. Professional Indemnity Insurance held individually by Douglas Cope.			
DATE. APR, 21	DRAWING TITLE. CONST. SECTION, ROOF PLAN.	PROJECT No. B1161	DWG No. D20/4
DRAWN. D.C.			
SCALE. 1 : 100			

49 Kingsley Lane
Byron Bay NSW 2481

Ppdc

Mob. 0401 000126
Email doug@ppdc.com.au

prestige properties design & construction
Development Consultants/Architectural Designers
RAIA 25222, QBSA Licence No. 1037753.